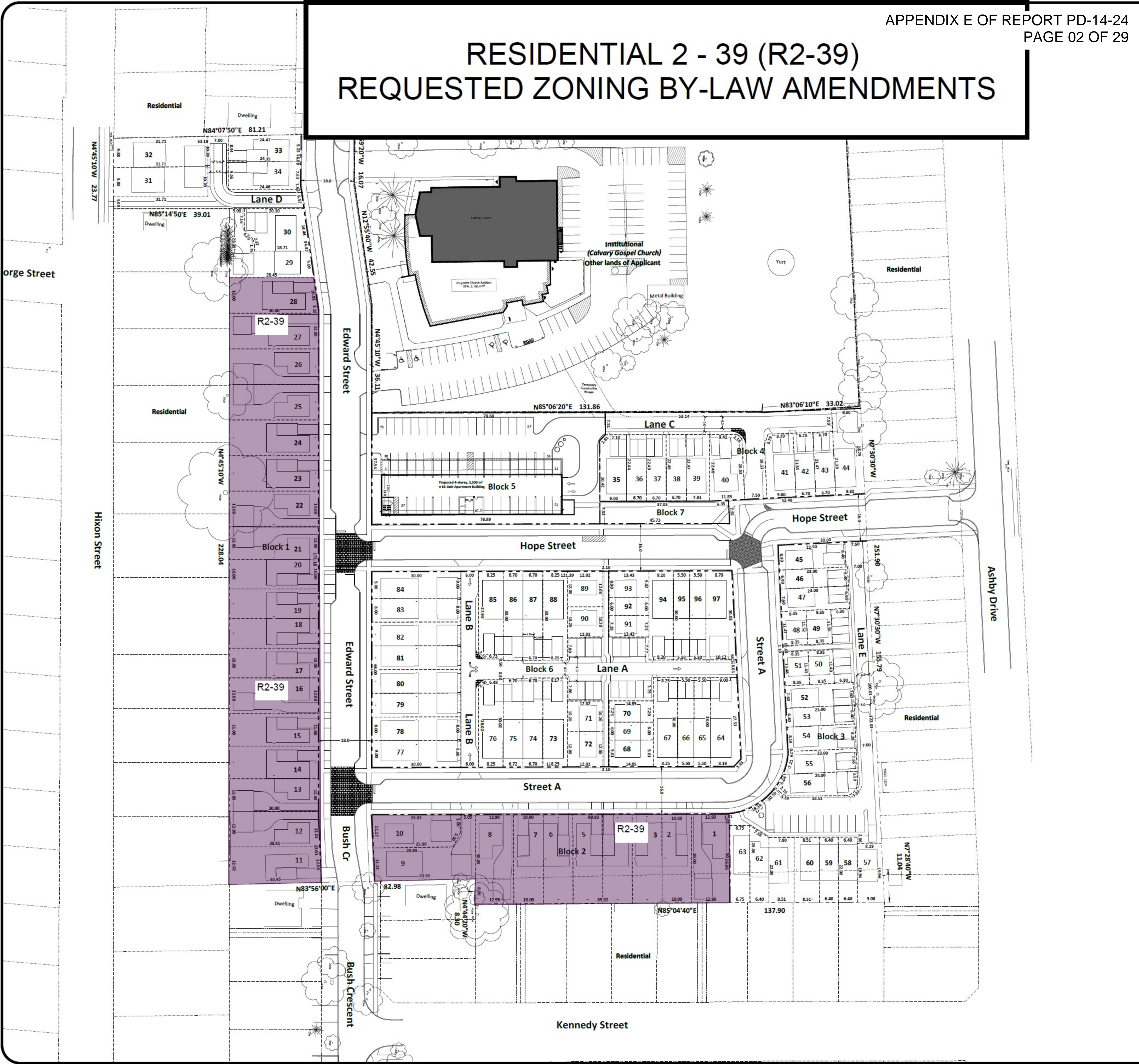


RESIDENTIAL 2 - 39 (R2-39) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL 2 – 39 (R2-39)**Permitted Dwelling Types:**

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
<ul style="list-style-type: none"> - Triplex - Fourplex - Block Townhouse - Street Townhouse 	<ul style="list-style-type: none"> - Single Detached - Semi-Detached 	<ul style="list-style-type: none"> - Single Detached - Semi-Detached

R2-39 Site Specific Zoning Amendments – Single Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	12.0m	11.0m	11.0m
Min. Lot Area	375m ²	330m ²	325m ²
Min. Front Yard Setback – Dwelling	6.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Front Yard Setback – Garage	6.0m	7.0m	7.0m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: - 1.2m Side 2: - 3.0m	Side 1: - 1.2m Side 2: - 3.5m	Side 1: - 1.2m Side 2: - 3.5m
Max. Exterior Side Yard Setback – Dwelling		4.5m	4.5m
Min. Rear Yard Setback	7.5m	10.0m	10.0m
Max Lot Coverage	45%	Deleted	50%
Min. Landscaped Open Space		20%	30%
Max. Attached Garage Width		<ul style="list-style-type: none"> - 4.3m or 38% of lot frontage, whichever is less, or - 7.5m or 27% of the lot depth, whichever is less 	<ul style="list-style-type: none"> - 4.3m or 38% of lot frontage, whichever is less

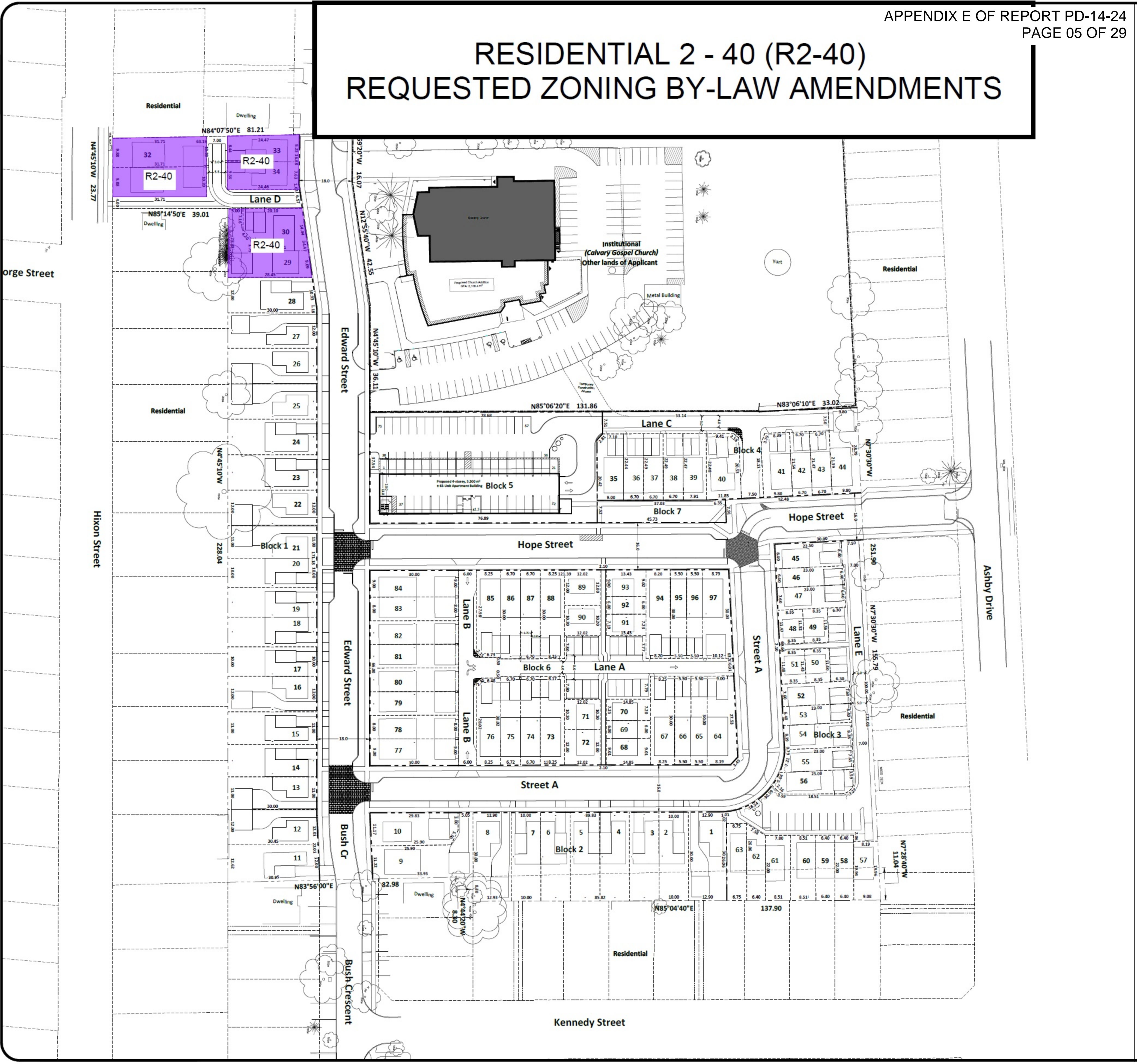
Site Specific Zoning Amendments – Semi-Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Area	600m ²	460m ²	460m ²
Min. Front Yard Setback – Dwelling	6.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Front Yard Setback – Garage	6.0m	7.0m	7.0m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: - 1.2m Side 2: - 3.0m	Side 1: - 1.2m Side 2: - 3.5m Front Wall: 0.0m Rear Wall: 0.0m	Side 1: - 1.2m Side 2: - 3.5m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Dwelling		4.5m	4.5m
Min. Rear Yard Setback	7.5m	10.0m	10.0m
Max Lot Coverage	45%	Deleted	50%
Min. Landscaped Open Space		20%	35%
Max. Attached Garage Width		- 4.3m or 38% of lot frontage, whichever is less, or - 7.5m or 27% of the lot depth, whichever is less	- 4.3m or 38% of lot frontage, whichever is less

Site Specific Zoning Amendments – Accessory Buildings (Single and Semi-Detached Dwellings)

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Max Lot Coverage	10%	27%	20%
Accessory Building – Min Front Yard Setback	6.0m	3.0m	3.0m
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m

RESIDENTIAL 2 - 40 (R2-40) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL 2 – 40 (R2-40)**Permitted Dwelling Types:**

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
- Triplex - Fourplex - Block Townhouse - Street Townhouse	- Semi-Detached	- Semi-Detached

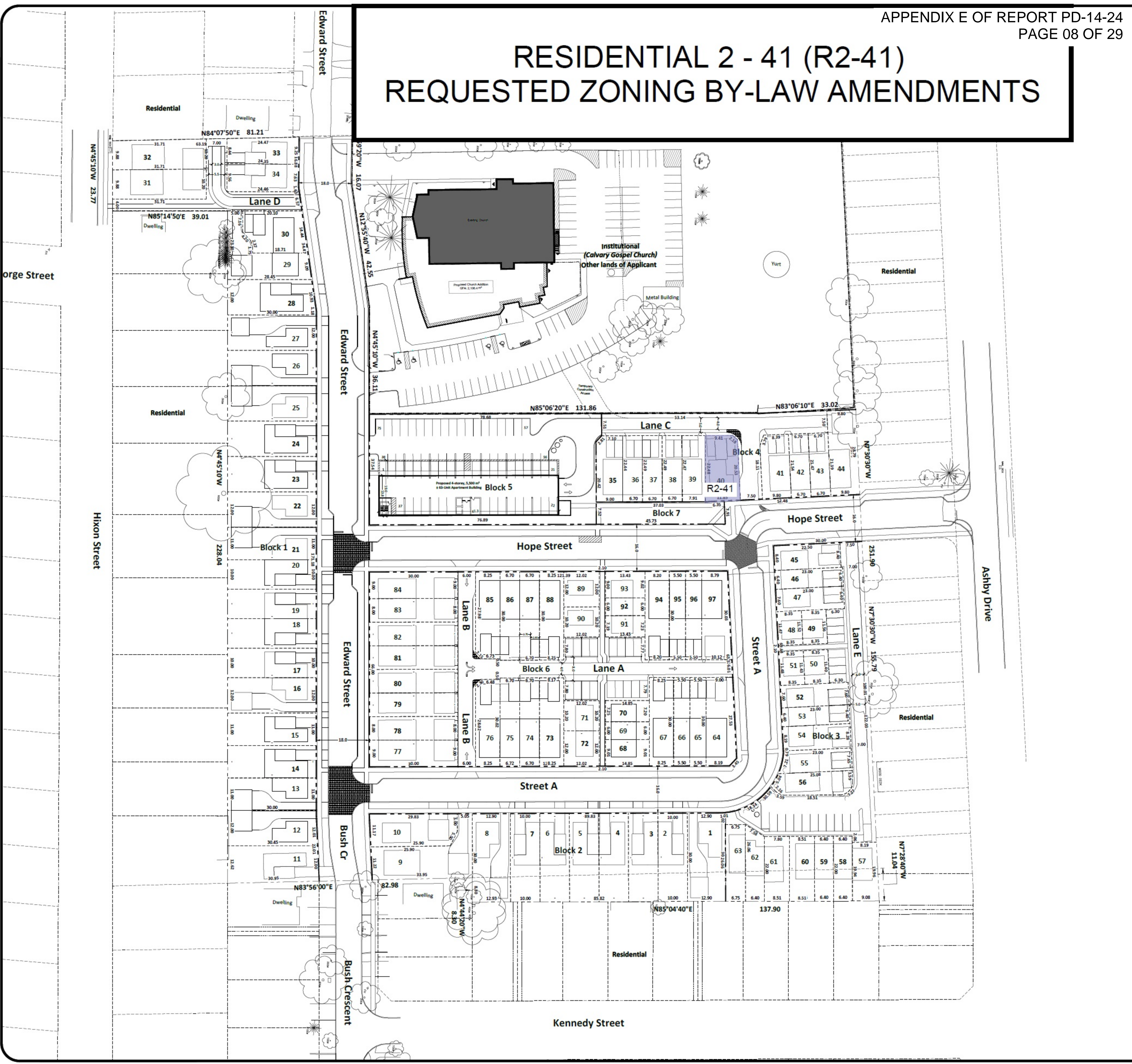
R2-40 Site Specific Zoning Amendments – Semi-Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	18.0m	10.0m	18.0m
Min. Lot Area	600m ²	250m ²	440m ²
Min. Front Yard Setback – Dwelling	6.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Front Yard Setback – Garage	6.0m	7.0m	7.0m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: - 1.2m Side 2: - 3.0m	Side 1: - 1.2m Side 2: - 3.5m Front Wall: 0.0m Rear Wall: 0.0m	Side 1: - 1.2m Side 2: - 3.5m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Dwelling		4.5m	4.5m
Min. Rear Yard Setback	7.5m	7.0m	7.0m
Max Lot Coverage	45%	Deleted	50%
Min. Landscaped Open Space		20%	40%
Max. Attached Garage Width		- 4.3m or 38% of lot frontage, whichever is less, or - 7.5m or 27% of the lot depth, whichever is less	- 4.3m or 38% of lot frontage, whichever is less

Site Specific Zoning Amendments – Accessory Buildings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Max Lot Coverage	10%	27%	20%
Accessory Building – Min Front Yard Setback	6.0m	3.0m	3.0m
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m

RESIDENTIAL 2 - 41 (R2-41)
REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL 2 – 41 (R2-41)**Permitted Dwelling Types:**

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
- Triplex - Fourplex - Block Townhouse - Street Townhouse	- Triplex	- Single Detached Dwelling

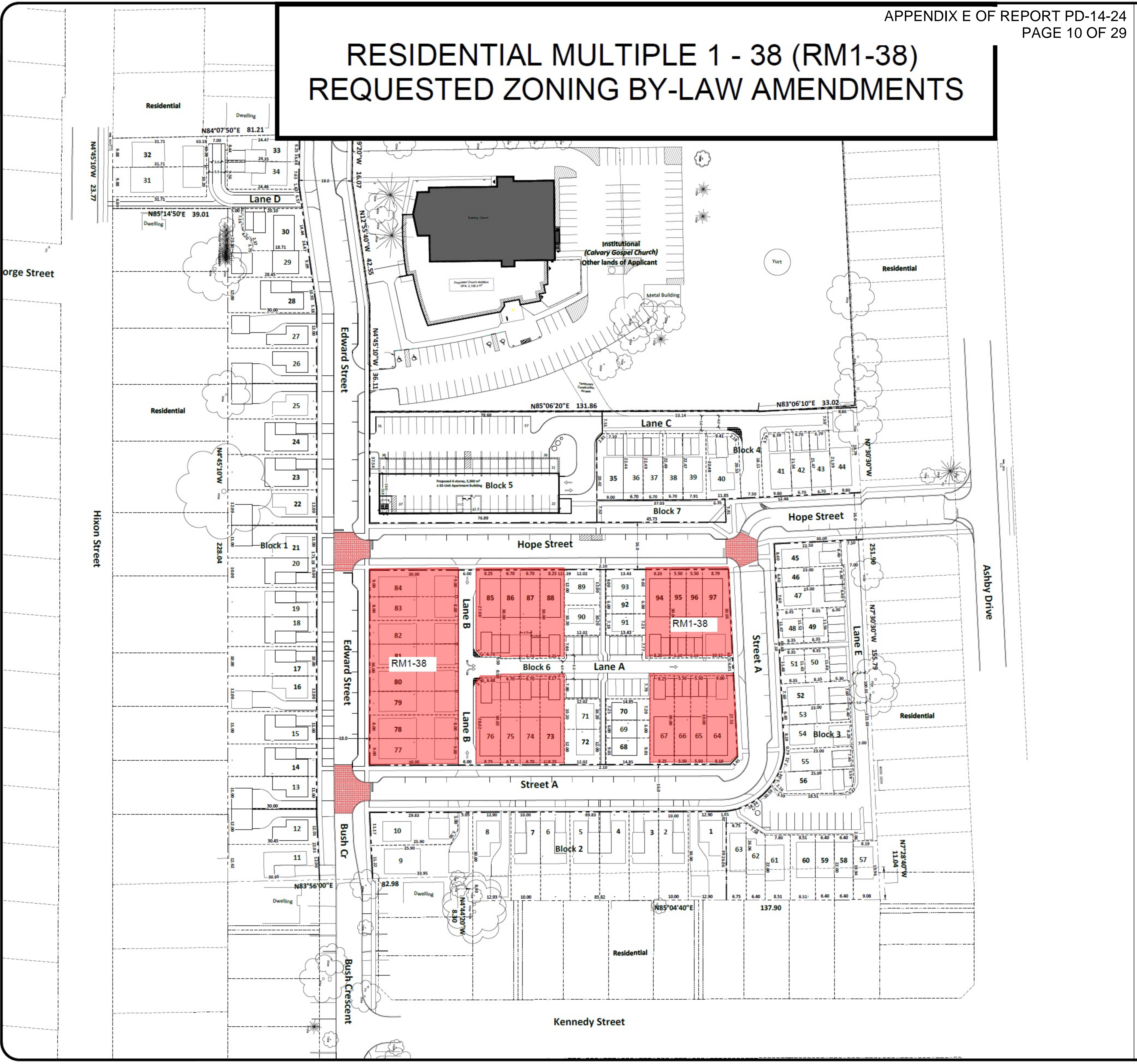
R2-41 Site Specific Zoning Amendments – Single-Detached Dwelling

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	12.0m	10.0m	5.7m
Min. Lot Area	375m ²	250m ²	250m ²
Min. Front Yard Setback – Dwelling	6.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: - 1.2m Side 2: - 3.0m	Side 1: - 1.2m Side 2: - 3.5m	Side 1: - 1.2m Side 2: - 3.5m
Min. Rear Yard Setback	7.5m	7.0m	10.0m
Max Lot Coverage	45%	Deleted	45%
Min. Landscaped Open Space		20%	40%

Site Specific Zoning Amendments – Accessory Buildings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Max Lot Coverage	10%	27%	20%
Accessory Building – Min Front Yard Setback	6.0m	3.0m	3.0m
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m

RESIDENTIAL MULTIPLE 1 - 38 (RM1-38) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 1 – 38 (RM1-38)**Permitted Dwelling Types:**

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
<ul style="list-style-type: none"> - Triplex - Fourplex - Block Townhouse - Street Townhouse 	<ul style="list-style-type: none"> - Semi-Detached - Street Townhouse 	<ul style="list-style-type: none"> - Semi-Detached - Street Townhouse

RM1-38 Site Specific Zoning Amendments – Semi-Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	Interior: 18.0m Corner: 23.0m	Int: 16.0m Corner: 18.0m	Int: 16.0m Corner: 18.0m
Min. Lot Area	600m ²	400m ²	400m ²
Min. Front Yard Setback – Dwelling	6.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: 1.2m Common Wall: 0.0m	Side 1: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m	Side 1: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Dwelling		4.5m	4.5m
Max. Exterior Side Yard Setback – Garage	6.0m	2.0m	2.0m
Min. Rear Yard Setback	7.5m	13.5m	13.5m
Max Lot Coverage	45%	Deleted	60.0%
Min. Landscaped Open Space		20.0%	30.0%
Accessory Building – Max Lot Coverage	10%	27%	20%

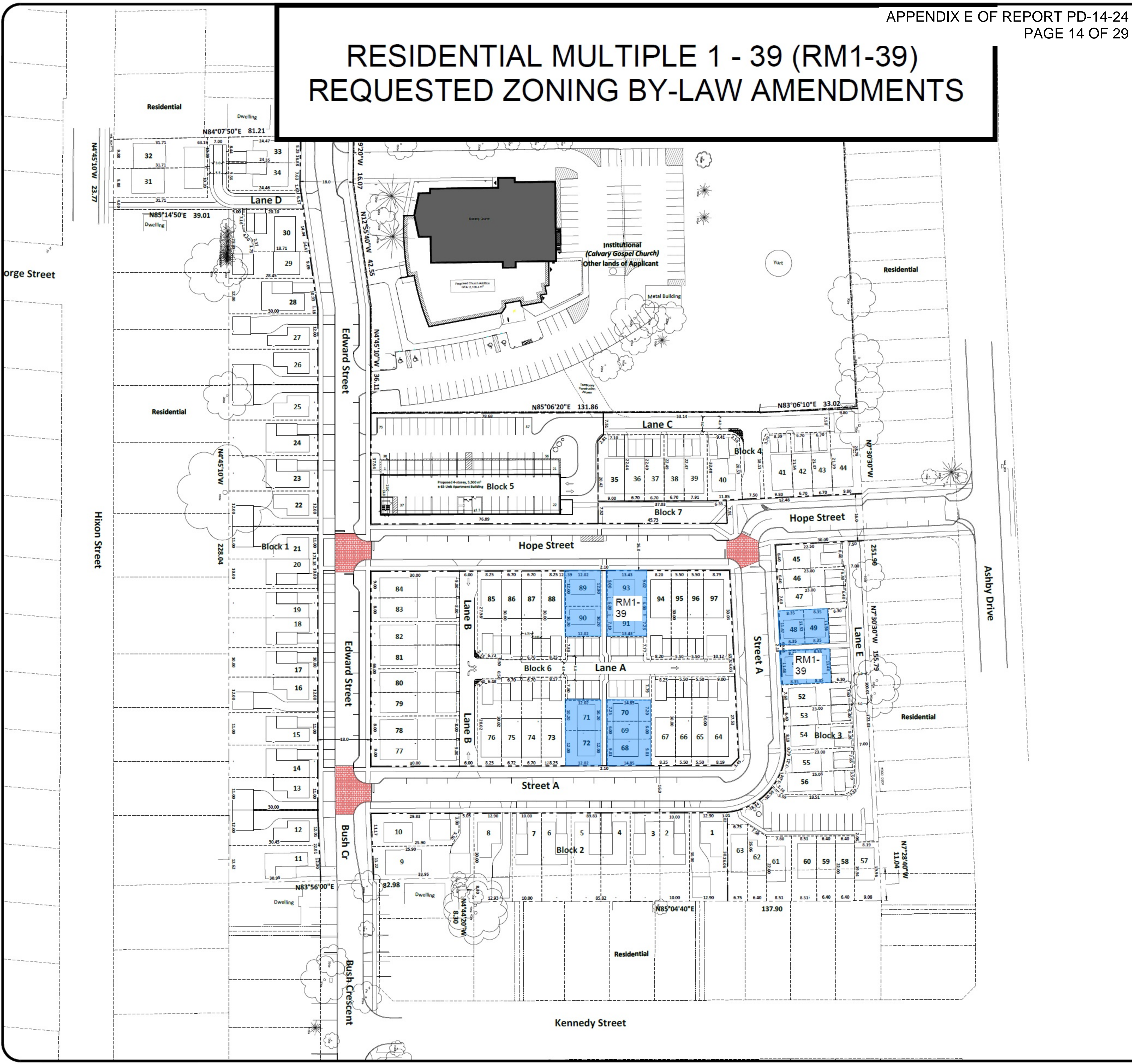
Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Min Front Yard Setback	6.0m	19.0m	19.0m
Accessory Building – Min Rear Yard Setback	1.0m	1.0m or 1.7m on corner lots where two private lanes meet	1.0m or 1.7m on corner lots where two private lanes meet
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m

RM1-38 Site Specific Zoning Amendments – Street Townhouses

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	Interior: 6.7m Corner: 10.0m	Int: 5.5m Cor: 8.25m	Int: 5.5m Cor: 8.25m
Min. Lot Area Per Dwelling Unit	Int: 200m ² Cor: 300m ²	155m ²	155m ²
Min. Front Yard Setback – Dwelling	4.0m	3.0m	3.0m
Max. Front Yard Setback – Dwelling		4.5m	4.5m
Min. Front Yard Setback – Garage		19.0m	19.0m
Min. Interior Side Yard Setback –	End Units: 1.5m Common Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Garage	6.0m	2.0m	2.0m
Min. Rear Yard Setback	7.5m	13.5m	13.5m

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Max Lot Coverage	50.0%	Deleted	65.0%
Min. Landscaped Open Space	30.0%	20.0%	30.0%
Accessory Building – Max Lot Coverage	10.0%	27.0%	20.0%
Accessory Building – Min Rear Yard Setback	1.0m	1.0m or 1.7 metres on corner lots where two private lanes meet	1.0m or 1.7 metres on corner lots where two private lanes meet
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m
Min Driveway Setback from Lot Line	1.0m	0.0m	0.0m

RESIDENTIAL MULTIPLE 1 - 39 (RM1-39) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 1 – 39 (RM1-39)

Permitted Dwelling Types:

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
<ul style="list-style-type: none"> - Triplex - Fourplex - Block Townhouse - Street Townhouse 	<ul style="list-style-type: none"> - Single Detached - Semi-Detached - Street Townhouse 	<ul style="list-style-type: none"> - Single Detached - Semi-Detached - Street Townhouse

RM1-39 Site Specific Zoning Amendments – Single Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	12.0m	12.0m	12.0m
Min. Lot Area	375m ²	120m ²	120m ²
Min. Front Yard Setback – Dwelling	6.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		3.5m	3.0m
Min. Interior Side Yard Setback – Detached	Side 1: 1.2m Side 2: 3.0m	Side 1: 1.2m Side 2: 4.0m	Side 1: 1.2m Side 2: 4.0m
Min. Rear Yard Setback	7.5m	1.2m	4.0m
Min. Landscaped Open Space		20.0%	50.0%
Max Lot Coverage	45%	Deleted	45.0%
Max Lot Coverage – Acc. Bldg.	10%	27%	5%

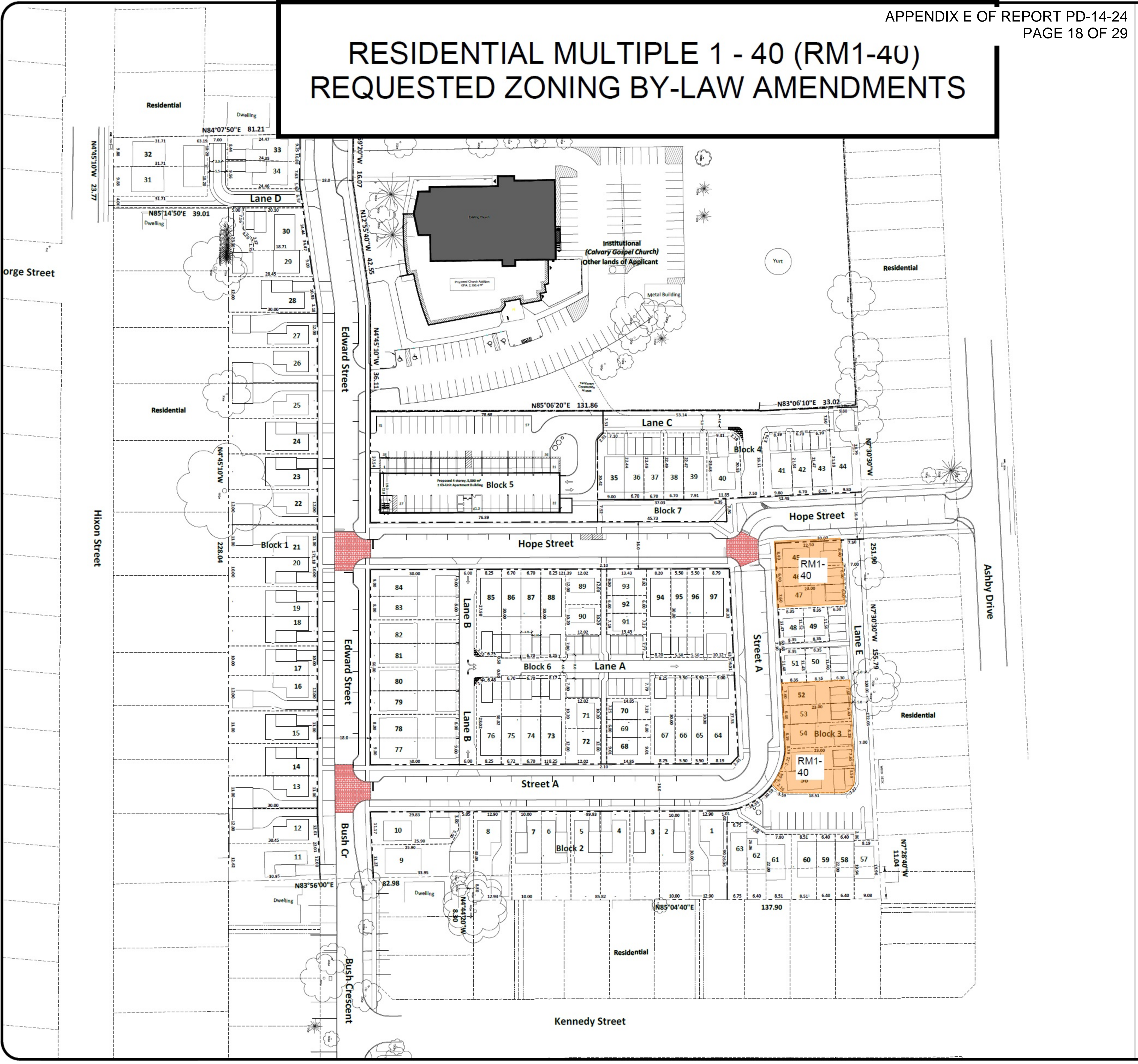
RM1-39 Site Specific Zoning Amendments – Semi-Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	18.0m	11.4m	11.4m
Min. Lot Area	600m ²	180m ²	180m ²
Min. Front Yard Setback – Dwelling	6.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		3.5m	3.0m
Min. Interior Side Yard Setback –	1.2m	1.2m	Side 1: 1.2m All others: 4.0m
Min. Rear Yard Setback	7.5m	4.0m	1.2m
Max Lot Coverage	45%	Deleted	50%
Min. Landscaped Open Space		20.0%	50%
Accessory Building – Max Lot Coverage	10%	27%	5%

RM1-39 Site Specific Zoning Amendments – Block Townhouses

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	Interior: 6.7m Corner: 10.0m	Int: 5.5m Cor: 8.25m	Int: 5.5m Cor: 8.25m
Min. Lot Area Per Dwelling Unit	Int: 200m ² Cor: 300m ²	Int Unit: End Unit:	Int Unit: 75m ² End Unit: 90m ²
Min. Front Yard Setback – Dwelling	4.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		3.5m	3.0m
Min. Interior Side Yard Setback –	7.5m	1.2m	Side 1: 1.2m Side 2: 4.0m
Min. Rear Yard Setback	7.5m	4.0m	1.2m
Min. Landscaped Open Space	30%	20%	40%
Max Lot Coverage	50%	Deleted	60%
Accessory Building – Max Lot Coverage	10%	27%	5%

RESIDENTIAL MULTIPLE 1 - 40 (RM1-40) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 1 – 40 (RM1-40)

Permitted Dwelling Types:

Presently Allowed on Property	July 2023 Submission	February 2024 Submission
<ul style="list-style-type: none"> - Triplex - Fourplex - Block Townhouse - Street Townhouse 	<ul style="list-style-type: none"> - Semi-Detached - Street Townhouse 	<ul style="list-style-type: none"> - Semi-Detached - Street Townhouse

RM1-40 Site Specific Zoning Amendments – Semi-Detached Dwellings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	Interior: 18.0m Corner: 23.0m	Int: 15.0m Corner: 18.0m	Int: 15.0m Corner: 18.0m
Min. Lot Area	600m ²	360m ²	360m ²
Min. Front Yard Setback – Dwelling	6.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		4.5m	3.0m
Min. Interior Side Yard Setback – No Attached Garage	Side 1: 1.2m Common Wall: 0.0m	Side 1: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m	Side 1: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Dwelling		4.5m	4.5m
Max. Exterior Side Yard Setback – Garage	6.0m	2.0m	2.0m
Min. Rear Yard Setback	7.5m	11.0m	11.0m
Max Lot Coverage	45%	Deleted	60.0%
Min. Landscaped Open Space		20.0%	30.0%
Accessory Building – Max Lot Coverage	10%	27%	20%

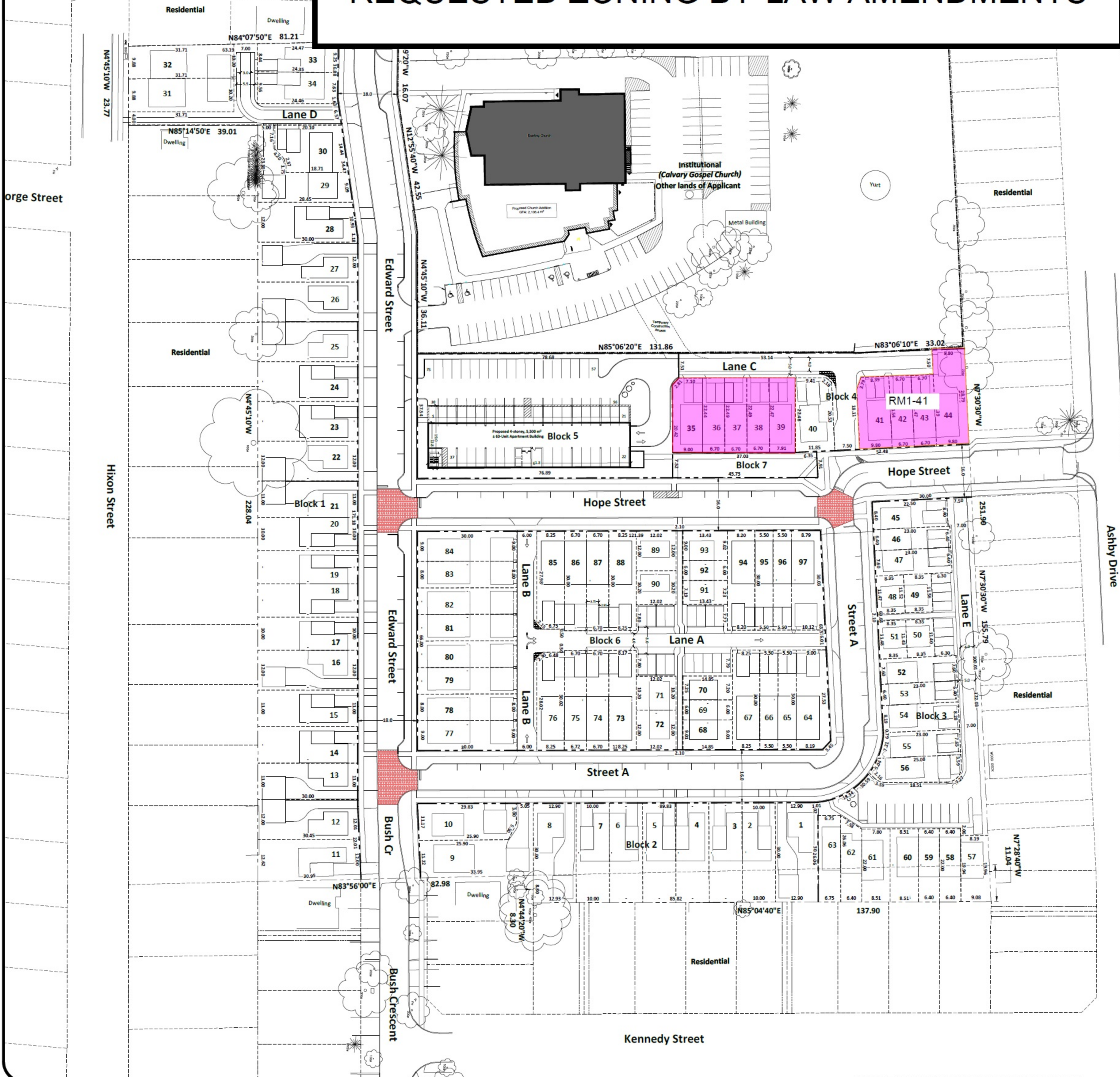
Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Min Front Yard Setback	6.0m	19.0m	19.0m
Accessory Building – Min Rear Yard Setback	1.0m	1.0m or 1.5m on corner lots where two private lanes meet	1.0m or 1.5m on corner lots where two private lanes meet
Accessory Building – Min Int Yard Setback	1.0m	1.0m or 0.0 metres if a common wall is shared with an adjacent accessory structure	1.2 m or 0.0 metres if a common wall is shared with an adjacent accessory structure
Accessory Building – Max Height	6.0m	6.7m	6.7m

RM1-40 Site Specific Zoning Amendments – Street Townhouses

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Frontage	Interior: 6.7m Corner: 10.0m	Int: 5.5m Cor: 8.25m	Int: 5.5m Cor: 8.25m
Min. Lot Area Per Dwelling Unit	Int: 200m ² Cor: 300m ²	155m ²	140m ²
Min. Front Yard Setback – Dwelling	4.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		3.0m	3.0m
Min. Interior Side Yard Setback –	End Units: 1.5m Common Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Max. Exterior Side Yard Setback – Garage	6.0m	2.0m	2.0m
Min. Rear Yard Setback	7.5m	13.5m	13.5m

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Max Lot Coverage	50.0%	Deleted	65.0%
Min. Landscaped Open Space	30.0%	20.0%	30.0%
Accessory Building – Max Lot Coverage	10.0%	27.0%	20.0%
Accessory Building – Min Rear Yard Setback	1.0m	1.0m or 1.7 metres on corner lots where two private lanes meet	1.0m or 1.7 metres on corner lots where two private lanes meet
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m
Min Driveway Setback from Lot Line	1.0m	0.0m	0.0m

RESIDENTIAL MULTIPLE 1 - 41 (RM1-41) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 1 – 41 (RM1-41)

RM1-41 Site Specific Zoning Amendments – Street Townhouses

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Area Per Dwelling Unit	Int: 250m ²	140m ²	140m ²
Min. Lot Frontage	6.7m	5.5m	6.7m
Min. Front Yard Setback – Dwelling	4.0m	2.0m	2.0m
Max. Front Yard Setback – Dwelling		4.5m	3.0m
Min. Interior Side Yard Setback –	End Units: 1.5m Common Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m	End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Min. Rear Yard Setback	7.5m	7.0m	7.0m
Max Combined Lot Coverage	50%	Deleted	Total: 86.0% - Dwelling: 60% - Acc. Bldg: 20% - Raised Deck: 26%
Minimum Landscaped Open Space and/or Private Amenity Space Provided by a Raised Deck		15.0%	30.0% or 42.0 square metres, whichever is greater
Min Driveway Setback from Lot Line	1.0m	0.0m	0.0m

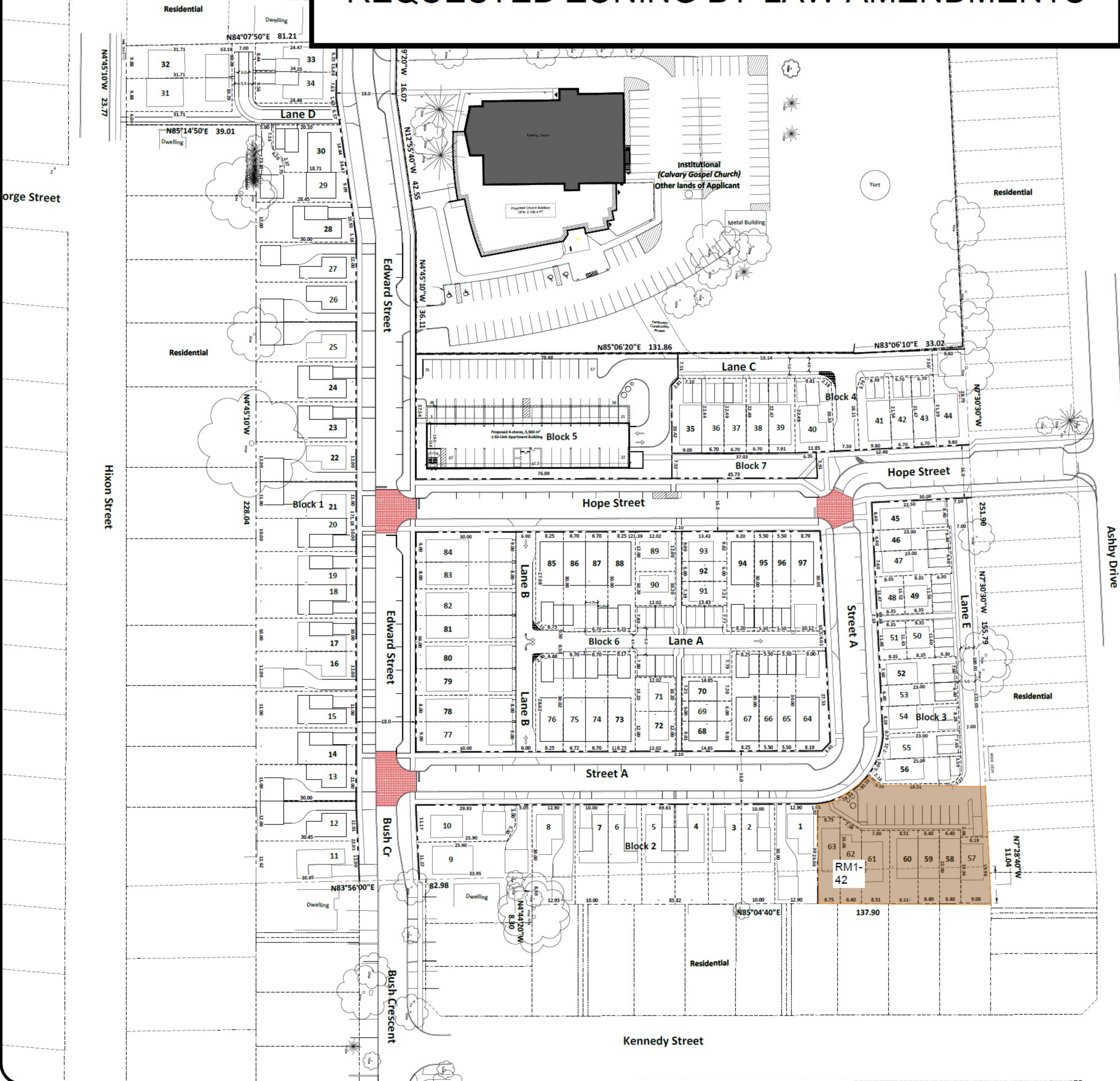
RM1-41 Site Specific Zoning Amendments – Block Townhouses

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Area Per Dwelling Unit	250m ²	Please note that the dwellings in this portion of the development were previously street townhouses. They were converted into block townhouses to accommodate the proposed green space on Block 7 of the draft plan of subdivision.	150m ²
Min. Lot Frontage	20.0m		6.7m
Min. Front Yard Setback – Dwelling	4.0m		2.0m
Min. Interior Side Yard Setback –	7.5m		End Units: 1.2m Common Wall: 0.0m Front Wall: 0.0m Rear Wall: 0.0m
Min. Rear Yard Setback	7.5m		8.0m
Max Combined Lot Coverage	50%		Total: 86.0% - Dwelling: 55% - Acc. Bldg: 20% - Raised Deck: 25%
Minimum Landscaped Open Space and/or Private Amenity Space Provided by a Raised Deck			30.0% or 45.0 square metres, whichever is greater
Min Driveway Setback from Lot Line	1.0m		0.0m

RM1-41 Site Specific Zoning Amendments – Accessory Buildings

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Accessory Building – Min Rear Yard Setback	1.0m	1.0m or 1.7 metres on corner lots where two private lanes meet	1.0m or 1.7 metres on corner lots where two private lanes meet
Accessory Building – Min Int Yard Setback (Common Wall)		0.0m	0.0m
Accessory Building – Max Height	6.0m	6.7m	6.7m

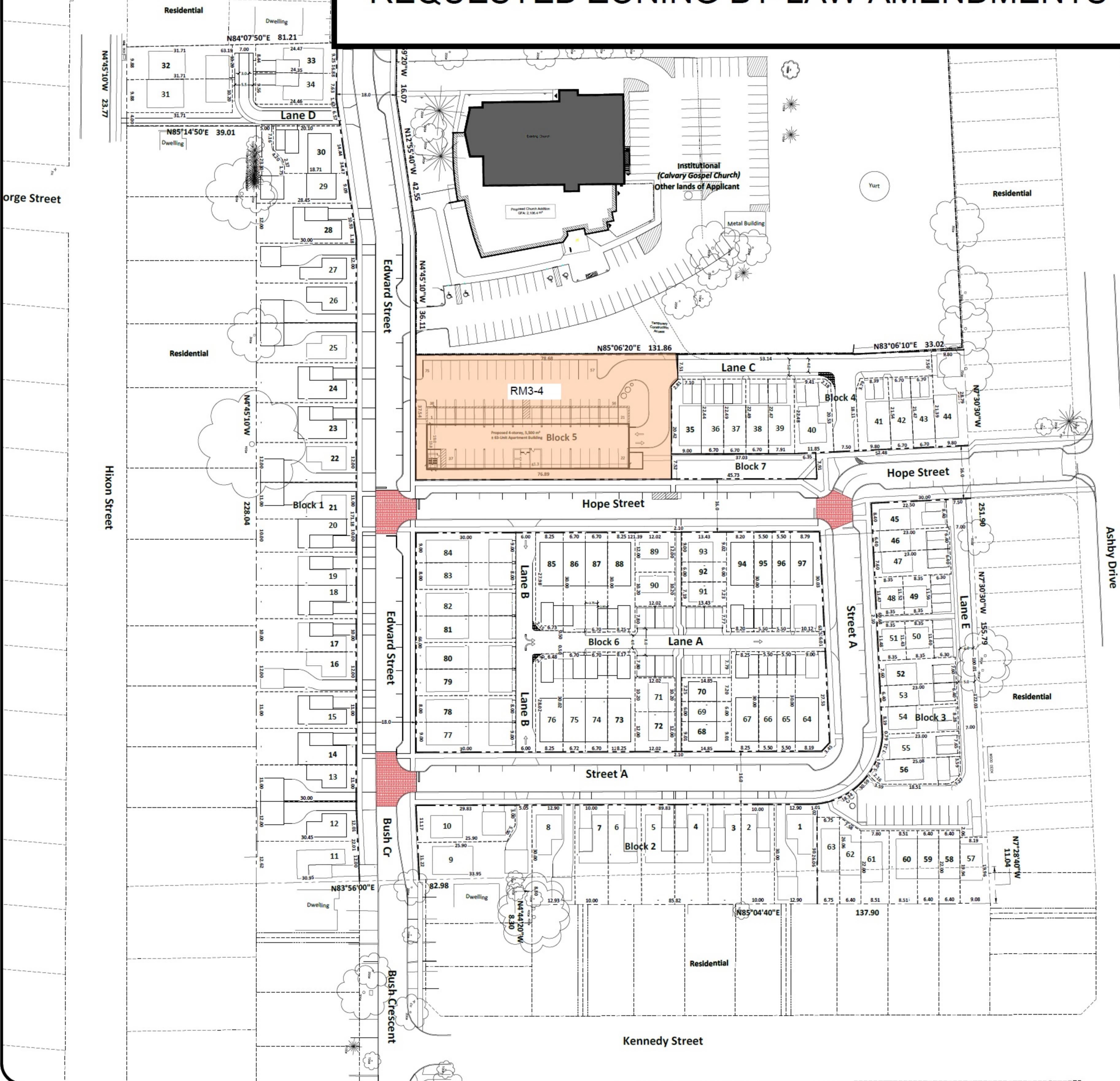
RESIDENTIAL MULTIPLE 1 - 42 (RM1-42) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 1 – 42 (RM1-42)**RM1-42 Site Specific Zoning Amendments – Block Townhouses**

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Area Per Dwelling Unit	250m ²	140m ²	140m ²
Min. Lot Frontage	20.0m	0.0m	26.0m
Min. Front Yard Setback	4.0m	0.0m	3.9m
Min. Interior Side Yard Setback –	7.5m	1.2m	1.2m
Min. Rear Yard Setback	7.5m	6.5m	7.4m
Max Lot Coverage	50%	Deleted	65%
Minimum Landscaped Open Space	30%	Deleted	30%
Minimum Parking Space Setback from East Lot Line			1.5m

RESIDENTIAL MULTIPLE 3 - 4 (RM3-4) REQUESTED ZONING BY-LAW AMENDMENTS



RESIDENTIAL MULTIPLE 3 – 4 (RM3-4)**RM3-4 Site Specific Zoning Amendments – Apartment Building**

Development Standard	Applicable Provision	July 2023 Submission	February 2024 Submission
Min. Lot Area Per Dwelling Unit	250m ²	28m ²	46m ²
Min. Front Yard Setback	4.0m	3.0m	3.0m
Min. Exterior Side Yard Setback	6.0m	3.0m	3.0m
Minimum Landscaped Open Space	30%	21%	21%
Minimum Distance from Street line to Parking Space	3.0m	2.3m	2.3m
Max Building Height	26.0m	26.0m	15.0m
Max Balcony Encroachment into Front and Exterior Side Yards	2.0m	1.4m	1.4m
Max Amenity Area	435m ²		250m ²
Minimum Parking Spaces per Dwelling Unit	1.25	0.7	1.1
Minimum Visitor Parking Spaces	6	0	6