

Copyright in this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.

VINELAND

4933 VICTORIA AVENUE NORTH

APPLICATION FOR ZONING BY-LAW AMENDMENT

PROJECT TEAM

<p>DEVELOPER GLOBIZEN GROUP T: 647-408-8612 www.globizen.com</p>	<p>ENVIRONMENTAL LANDTEK LIMITED CONSULTING ENGINEERS T: 905-383-3733 www.landtek.ca</p>
<p>ARCHITECTURAL & LANDSCAPE ARCHITECTURE gh3* T: 416-915-1791 www.gh3.ca</p>	<p>HYDROGEOLOGY LANDTEK LIMITED CONSULTING ENGINEERS T: 905-383-3733 www.landtek.ca</p>
<p>PLANNER LANDWISE T: 905-574-1993 www.landwise.ca</p>	<p>WIND GRADIENT WIND ENGINEERS & SCIENTISTS T: 613-836-0934 www.gradientwind.com</p>
<p>TRANSPORTATION CROZIER CONSULTING ENGINEERS T: 548-708-0022 www.ctcrozier.ca</p>	<p>ACOUSTICS/NOISE J.E. COULTER ASSOCIATES LIMITED T: 416-502-8598 www.jecoulterassoc.com</p>
<p>CIVIL LITHOS GROUP INC. T: 416-750-7769 www.LithosGroup.ca</p>	<p>SHORELINE ENGINEERING SHOREPLAN ENGINEERING T: 416-487-4756 www.shoreplan.com</p>
<p>GEOTECH LANDTEK LIMITED CONSULTING ENGINEERS T: 905-383-3733 www.landtek.ca</p>	<p>ENVIRONMENTAL IMPACT / TPP GEI CONSULTANTS – MARKHAM BRANCH T: 1-800-810-3281 https://canada.geiconsultants.com</p>

ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name
A000	COVER SHEET
A001	PROJECT STATS
A002	PARKING DIAGRAM
A100	SURVEY
A102	CONTEXT PLAN
A103	ROOF PLAN
A104	GROUND FLOOR - SITE PLAN
A200	P1 LEVEL
A201	GROUND FLOOR
A202	MEZZANINE LEVEL
A203	LEVEL 2
A204	LEVEL 3
A205	LEVEL 4
A206	LEVEL 5
A207	LEVEL 6
A208	LEVEL 7
A209	LEVEL 8
A210	LEVEL 9
A211	LEVEL 10
A212	LEVEL 11
A213	LEVEL 12
A214	LEVEL 13
A300	ELEVATIONS
A301	COURTYARD ELEVATIONS
A400	SECTIONS
A401	CROSS SECTIONS

3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

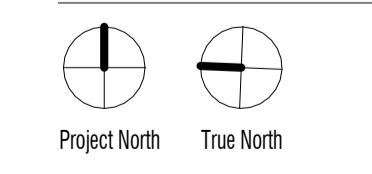
Rev.	Date	Issued
------	------	--------

gh3

gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

COVER SHEET

A000

1.0 SUMMARY

TOTAL SITE AREA 19,348.3 m²
NET SITE AREA 16,299.1 m²
LAND CONVEYANCE PART 1 3,035.7 m²
LAND CONVEYANCE PART 2 13.5 m²

TOTAL GFA - 41,314 m²
FSI - 2.52
DESIGNATED P.O.P.S. - 1,817m²

1.1 BUILDING AREA SUMMARY. Table with columns: Total Non-Residential GFA (m²), Residential GFA (m²), TOTAL GFA (m²)

*EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

Table with columns: 12,252, 29,127, 41,314

1.2 PARKING SUMMARY Table with columns: RESIDENTIAL, COMMERCIAL, Total On-Site Parking

*EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

2.0 BUILDING HEIGHTS

Building A: 46 m (13 Storeys)
Building B: 45.5 m (13 Storeys)
Building C: 43 m (12 Storeys)
Building C TOWN: 19.4 m (5 Storeys)

BUILDING COVERAGE 8487m²
PERCENTAGE OF NET SITE AREA 52.1%

4.0 UNITS

4.1 RESIDENTIAL UNITS

4.1 RESIDENTIAL UNITS - BUILDING A Table with columns: LEVEL, 1B, 2B, 3B, TOWN, UNIT COUNT

4.1 RESIDENTIAL UNITS - BUILDING C

4.1 RESIDENTIAL UNITS - BUILDING C Table with columns: LEVEL, 1B, 2B, 3B, TOWN, UNIT COUNT

4.1 RESIDENTIAL UNITS - TOTAL Table with columns: 1B, 2B, 3B, TOWN, UNIT COUNT

4.2 NON-RESIDENTIAL UNITS

4.2 HOTEL SUITES Table with columns: LEVEL, NEW HOTEL SUITES (SINGLE SUITE, DOUBLE SUITE), UNIT COUNT

4.2 COMMERCIAL SPACES

4.2 COMMERCIAL SPACES Table with columns: Name, Level, AREA

4.2 BACK-OF-HOUSE / MECHANICAL

4.2 BACK-OF-HOUSE / MECHANICAL Table with columns: Name, Level, AREA

4.3 UNIT MIX

NEW RESIDENTIAL - UNIT MIX Table with columns: Name, No. Units, Unit Mix, Avg Area (SF), Total Area

TOTAL RESIDENTIAL - UNIT MIX Table with columns: Name, No. Units, Unit Mix, Avg Area (SF), Total Area

NEW HOTEL SUITES - UNIT MIX Table with columns: Name, No. Units, Unit Mix, Avg Area (SF), Total Area

3.0 FLOOR AREA

3.1 GROSS FLOOR AREA - BELOW GRADE NON-PARKING Table with columns: TOTAL GFA (m²)

Table with columns: P2, P1, 706, 1,655, 2,361

3.1 GROSS FLOOR AREA - BUILDING A Table with columns: Total Non-Residential GFA, Residential GFA, TOTAL GFA

3.1 GROSS FLOOR AREA - BUILDING A Table with columns: Level, Retail GFA, Hotel GFA, Residential GFA, TOTAL GFA

3.1 GROSS FLOOR AREA - BUILDING B Table with columns: Total Non-Residential GFA, Residential GFA, TOTAL GFA

3.1 GROSS FLOOR AREA - BUILDING B Table with columns: Level, Retail GFA, Hotel GFA, Residential GFA, TOTAL GFA

3.1 GROSS FLOOR AREA - BUILDING C Table with columns: Total Non-Residential GFA, Residential GFA, TOTAL GFA

3.1 GROSS FLOOR AREA - BUILDING C Table with columns: Level, Retail GFA, Hotel GFA, Residential GFA, TOTAL GFA

GRAND TOTAL Table with columns: Total Non-Residential GFA, Residential GFA, Total GFA

3.2 AREA EXCLUDED FROM GFA Table with columns: Loading Area, Parking Area

Table with columns: P2, P1, Level 1, Level 1M, Level 2, Level 3, Level 4, Level 5, Level 6, Level 7, Level 8, Level 9, Level 10, Level 11, Level 12, Level 13, BUILDING A - ROOFTOP, GRAND TOTAL

TOTAL GFA =
*WITH REFERENCE TO THE TOWN OF LINCOLN COMPREHENSIVE ZONING BY-LAW NO.2022-50, SECTION 2.110: THE TOTAL FLOOR AREA OF ALL STOREYS OF A BUILDING OR STRUCTURE, INCLUDING THE FLOOR ARE OF ANY BASEMENT, WHICH FLOOR AREAS ARE MEASURED BETWEEN THE EXTERIOR FACES OF THE EXTERIOR WALLS OF A BUILDING AT EACH FLOOR LEVEL, BUT EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

NOTWITHSTANDING SECTION 2.110, FOR THE PURPOSE OF THIS BY-LAW, IN ADDITION TO THE EXCLUSION OF PARKING AREAS AND LOADING AREAS, GROSS FLOOR AREA SHALL NOT INCLUDE MECHANICAL OR BACK-OF-HOUSE AREAS WITH RESPECT TO CALCULATIONS OF PARKING REQUIREMENTS FOR USES.

(a) FURTHERMORE, FOR THE PURPOSE OF THIS BY-LAW, MECHANICAL OR BACK-OF-HOUSE AREAS SHALL BE DEEMED TO E AREAS SUPPORTIVE AND/OR ACCESSORY TO THE PRIMARY USE, NOT INTENDED FOR PUBLIC ACCESS. THIS MAY INCLUDE, BUT NOT LIMITED TO, AREAS USED FOR PREPARATION OF GOODS, PERSONAL NEEDS OF STAFF, STORAGE, EQUIPMENT AND/OR MAINTENANCE.

ALL INTERIOR FLOOR AREAS ABOVE GRADE INCL. CORES/CORRIDORS/VERTICAL SHAFTS EXCL. PARKING / LOADING EXCL. BALCONIES EXCL. ROOF TERRACE / OUTDOOR AMENITY

TOTAL NON-RESIDENTIAL GFA =
RETAIL GFA + HOTEL GFA

RETAIL GFA=
RESTAURANT & KITCHEN
RESTAURANT (CAFE)
GROCER (RETAIL)
SPA + BOH
RESTAURANT (BAR) - "SKY BAR" + BOH
RESTAURANT (BAR) - "LOBBY BAR"
COMMON LOBBY

HOTEL GFA =
ALL INTERIOR HOTEL FLOOR AREAS
EVENT SPACE
ALL HOTEL BOH

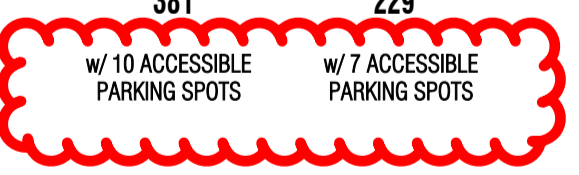
5.0 AMENITY

5.1 AMENITY Table with columns: AMENITY, OUTDOOR, INDOOR, TOTAL AREA

OUTDOOR AMENITY INCLUDES PRIVATE BALCONIES AND TERRACES

6.0 PARKING

6.1 CAR PARKING Table with columns: Level, RESIDENTIAL, COMMERCIAL, TOTAL ON-SITE PARKING, STREET, TOTAL CAR PARKING



6.2 BICYCLE PARKING Table with columns: Level, Bicycle Parking (Long-Term, Short-Term), TOTAL BICYCLE PARKING

7.0 LOADING

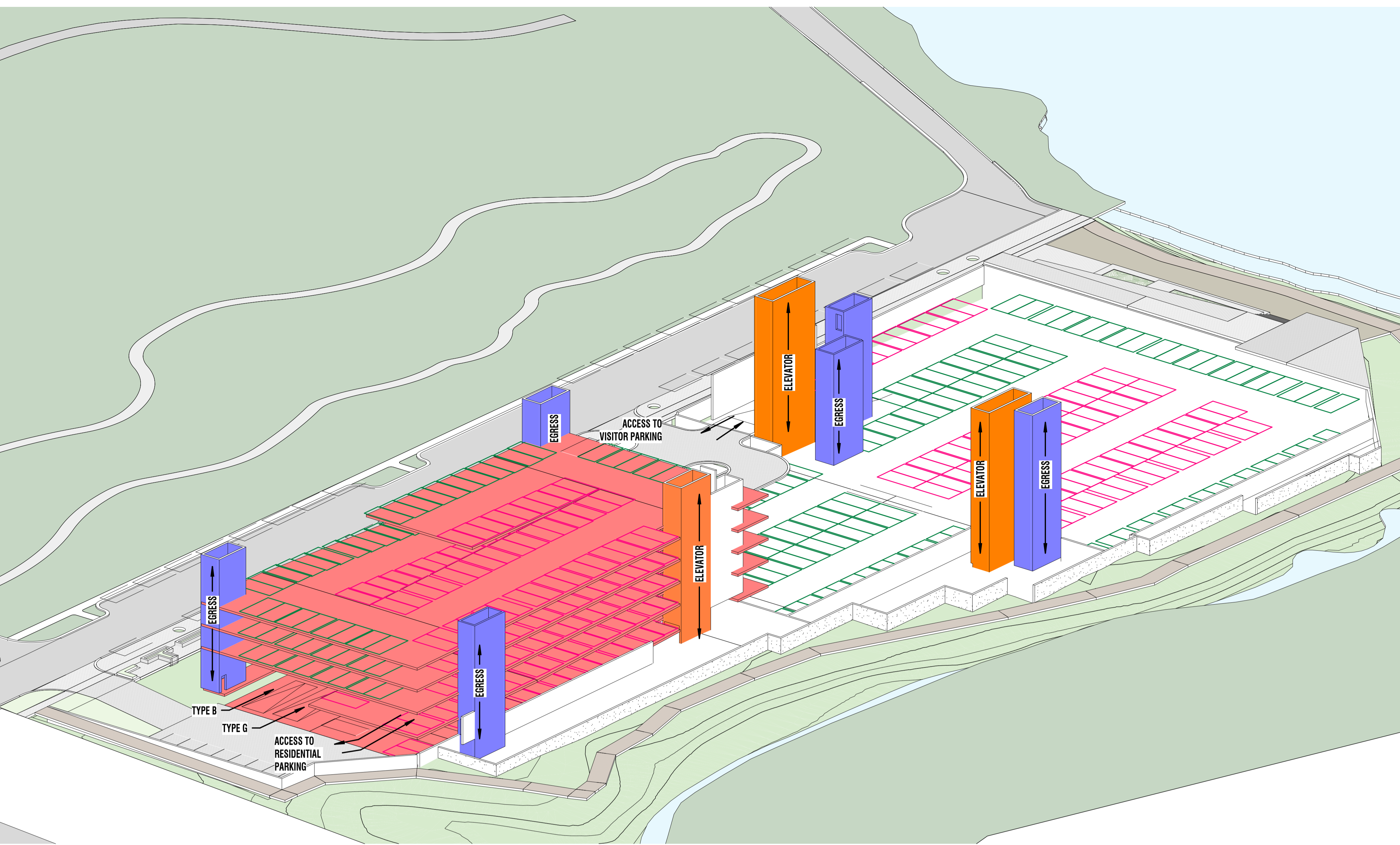
7.1 LOADING Table with columns: Level, Count, Type

8.0 WASTE

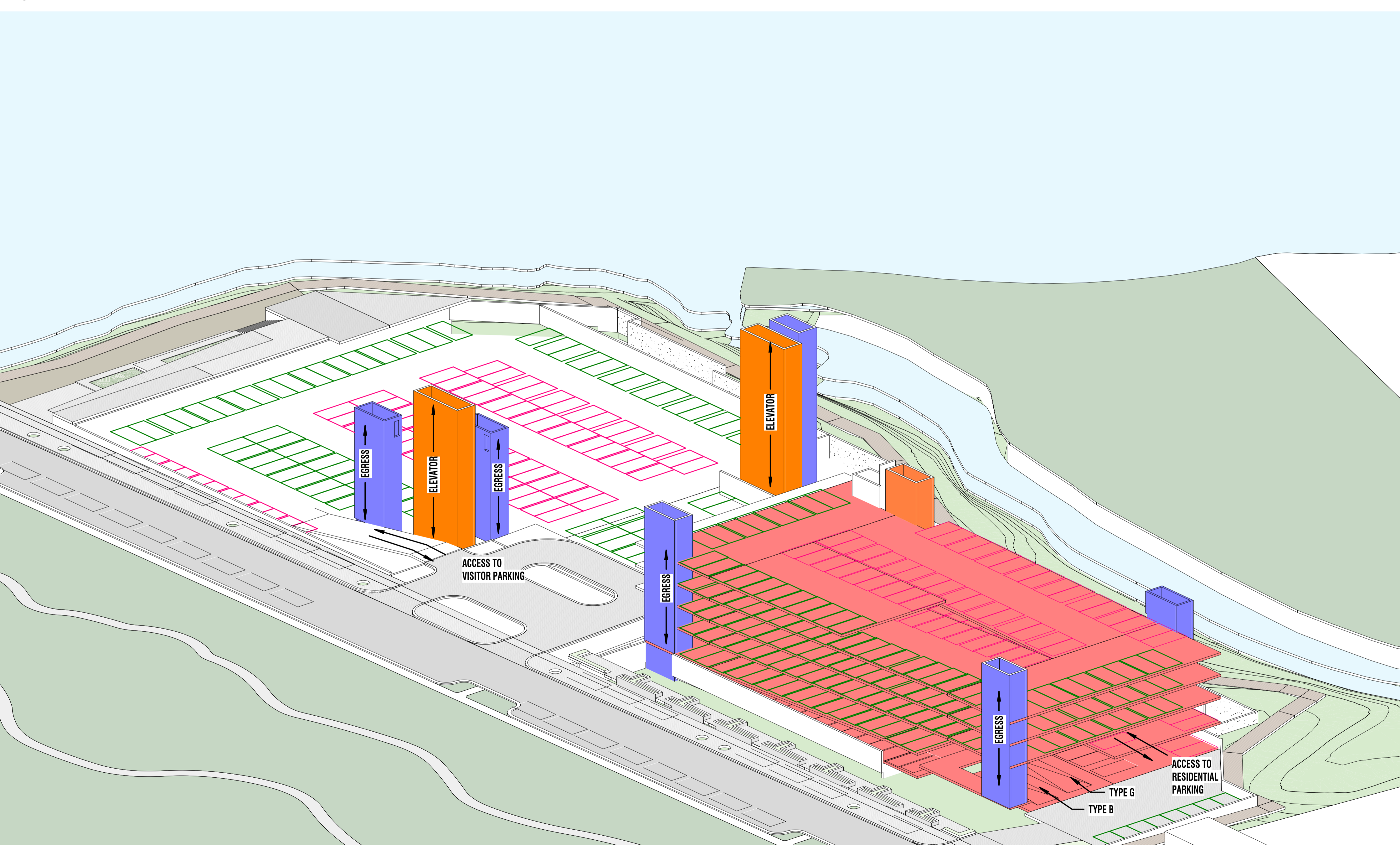
8.1 WASTE STORAGE AREA Table with columns: Area Type, Level, Name, Area

Copyright of this document is reserved by the Architect. Any reproduction or use of any part of this document without the prior written approval of the Architect is strictly prohibited.

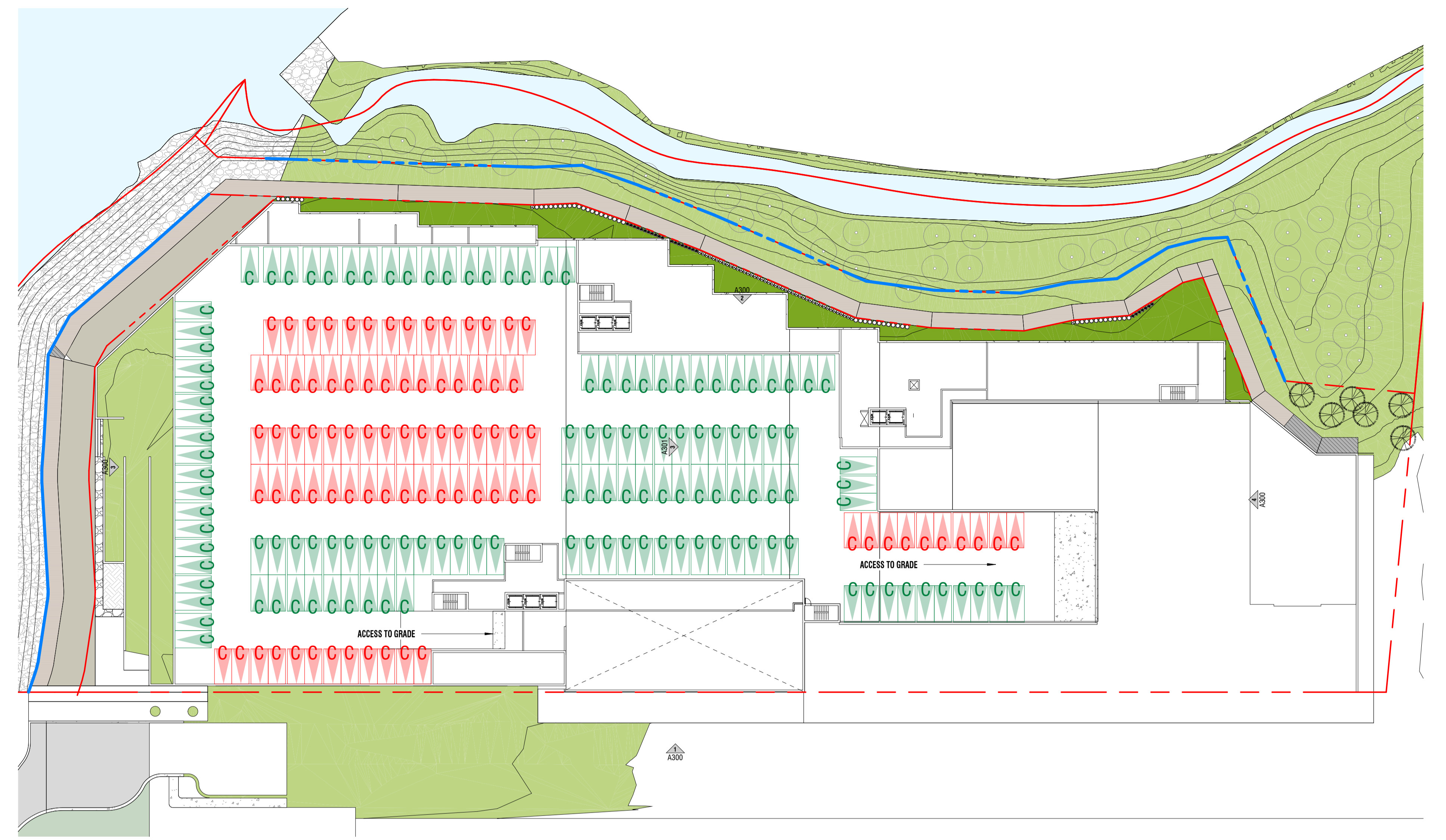
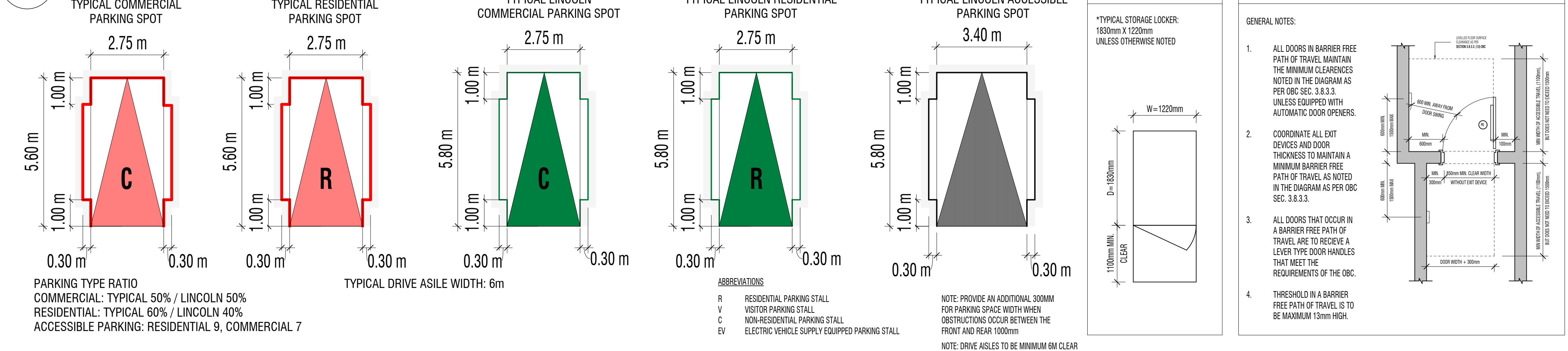
GENERAL NOTES:
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of applied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are to be used for construction unless specifically noted for such purpose.



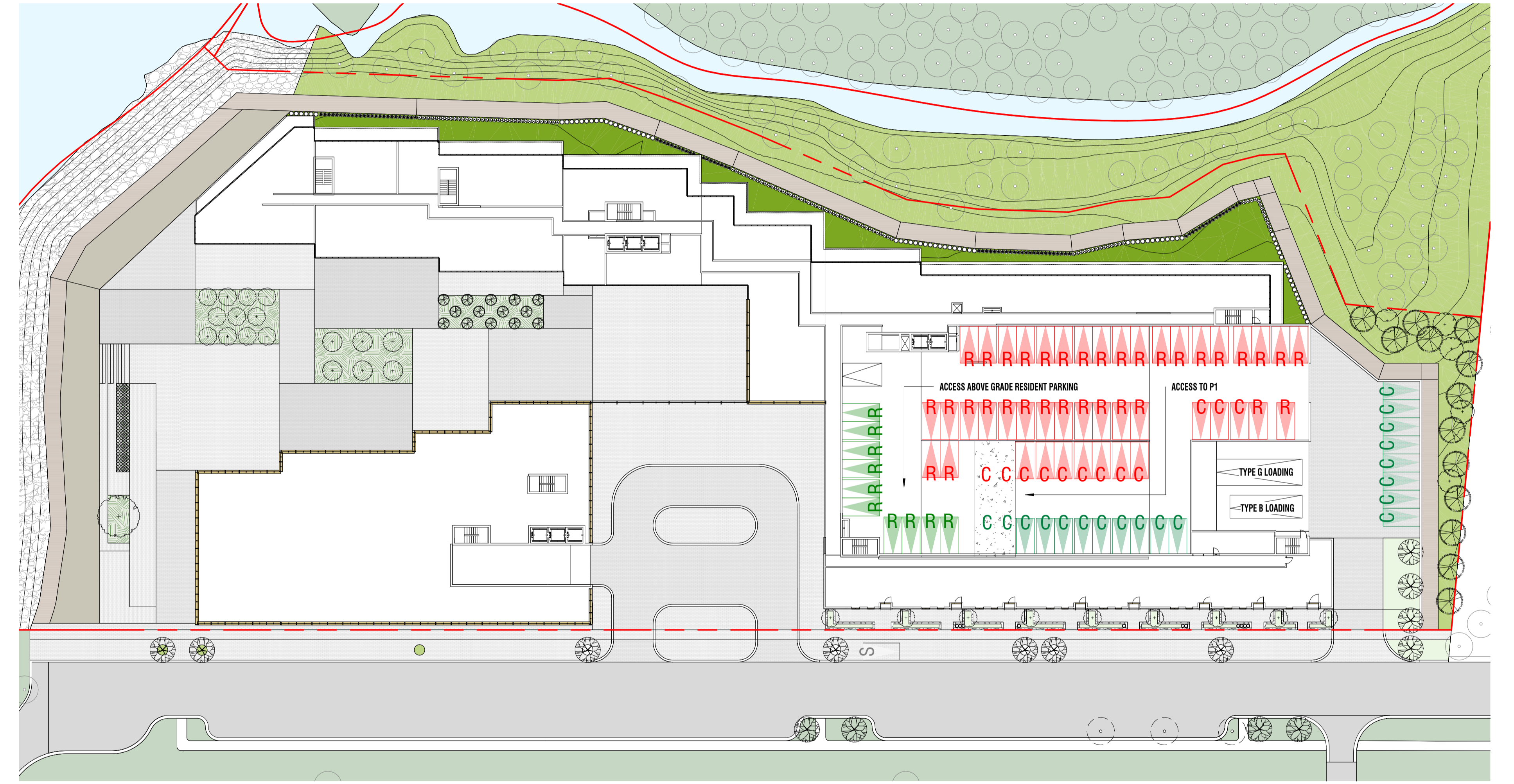
1 SEPARATE ENTRANCES - SE VIEW
A002



2 SEPARATE ENTRANCES - SW VIEW
A002

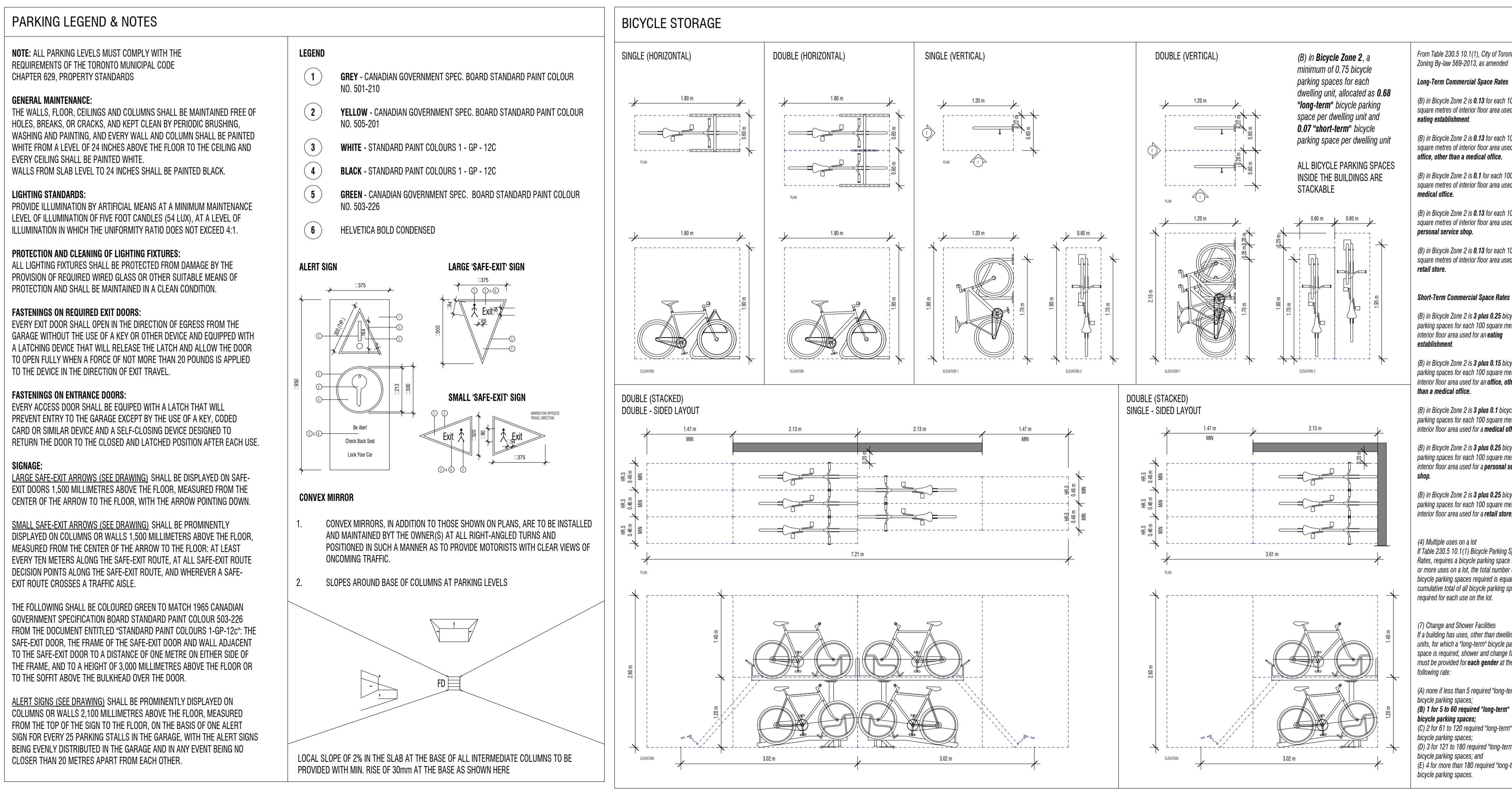


3 P1 - PARKING DIAGRAM
A002 1:450



4 LEVEL 1 - PARKING DIAGRAM
A002 1:450

PARKING SUMMARY			
RESIDENTIAL	COMMERCIAL	Total Car Parking	STREET PARKING
381	229	610	14



Rev.	Date	Issued
3	2024/09/30	RE-SIGNED FOR 28A
2	2024/09/26	RE-SIGNED FOR 28A
1	2024/02/17	ISSUED FOR 28A

gh3
55 OSSINGTON AVE, SUITE 100
TORONTO, ON, CANADA M5G 2Y9
416 915 1791

Globzen
PROJECT BENCH
4933 VICTORIA AVENUE NORTH

Project North True North

SCALE: As Indicated
PROJECT NO. 2023002
ISSUE DATE: SEPT 27, 2024

A002

Copyright in this drawing is owned by the Architect. Any reproduction of this drawing without prior written approval of the Architect is to be made for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of applied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. ConsensusDOCS is to be used between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.

Rev.	Date	Issue
1	2024/09/30	RE-SIGNED FOR 2BA
2	2024/09/30	RE-SIGNED FOR 2BA
3	2024/09/30	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2T9
416-915-1791

Global
PROJECT BENCH

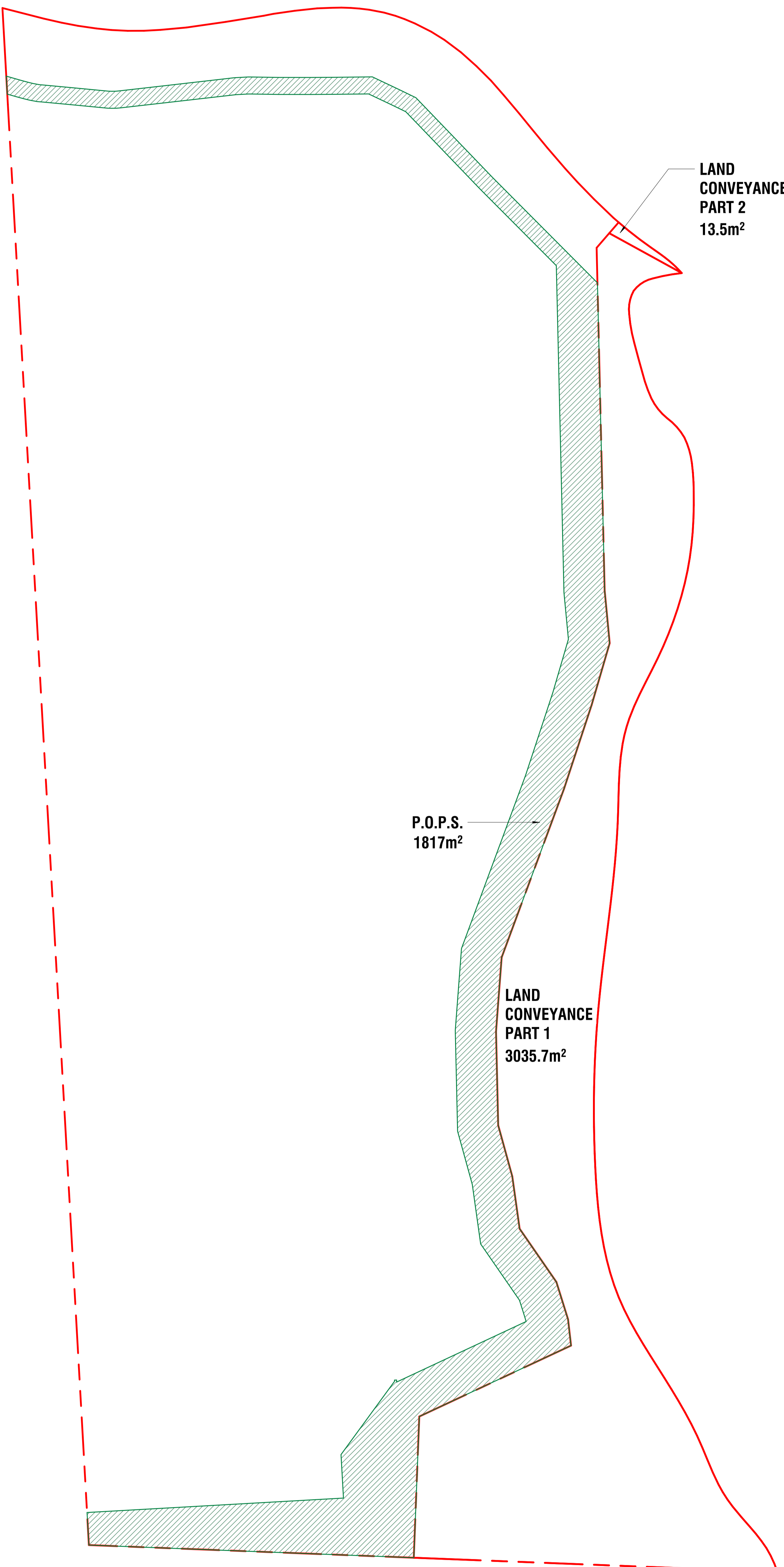
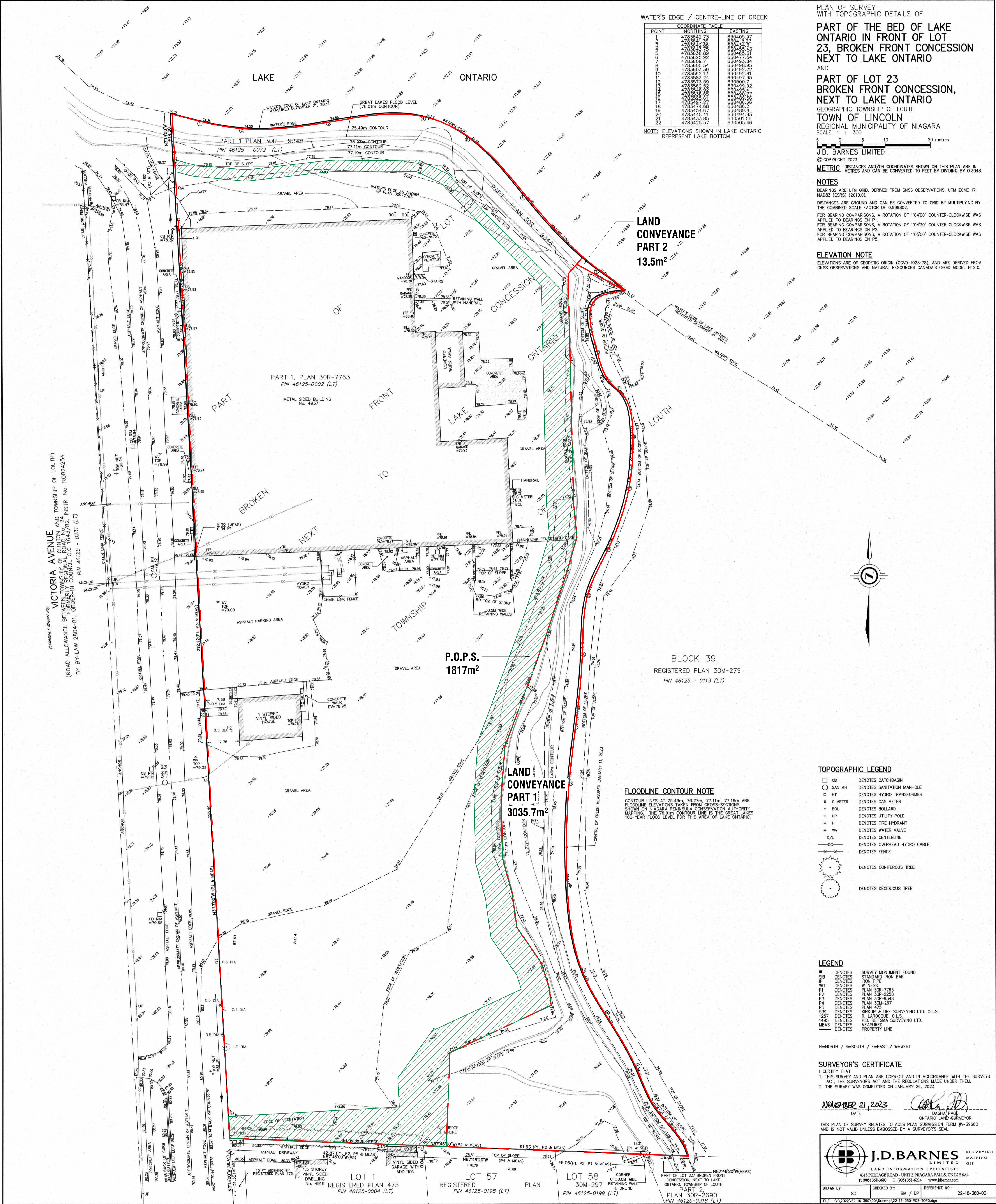
4933 VICTORIA AVENUE NORTH

Project North True North

SCALE: 1:500
PROJECT NO. 202302
ISSUE DATE: SEPT 27, 2024

SURVEY

A100



Copyright of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Discrepancies indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



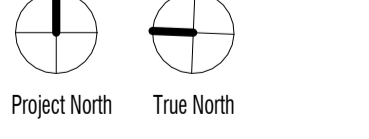
1 CONTEXT PLAN

Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/04/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5J 2Y9
 416-915-1791

Globzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



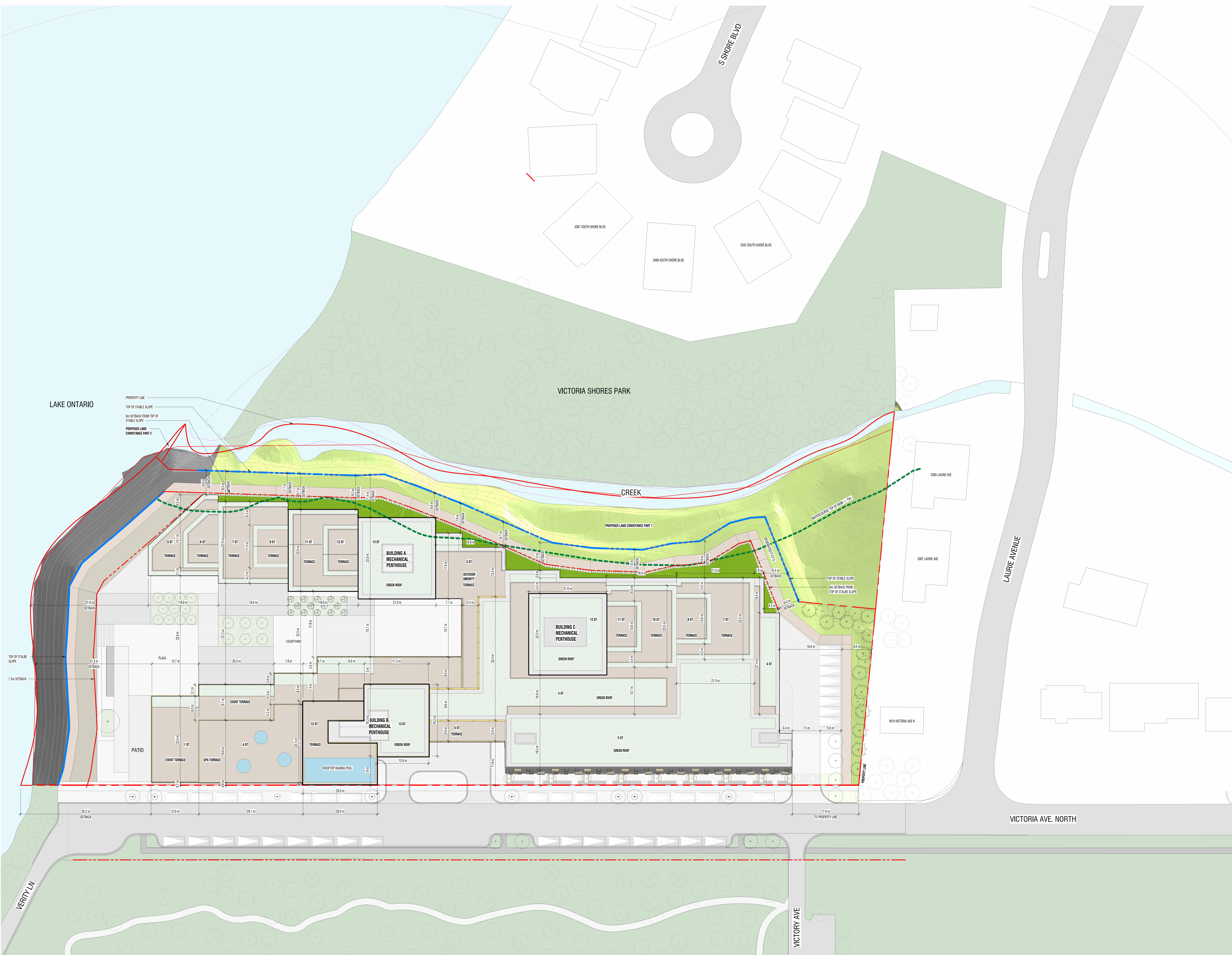
SCALE: 1 : 1000
 PROJECT NO. 202302
 ISSUE DATE: SEPT 27, 2024

CONTEXT PLAN

Copyright of this drawing is the property of the Architect. Any reproduction or use of this drawing without the prior written approval of the Architect is prohibited.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of applied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.

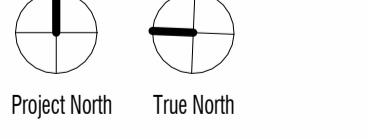


Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 28A
2	2024/04/06	RE-ISSUED FOR 28A
1	2024/02/17	ISSUED FOR 28A

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH

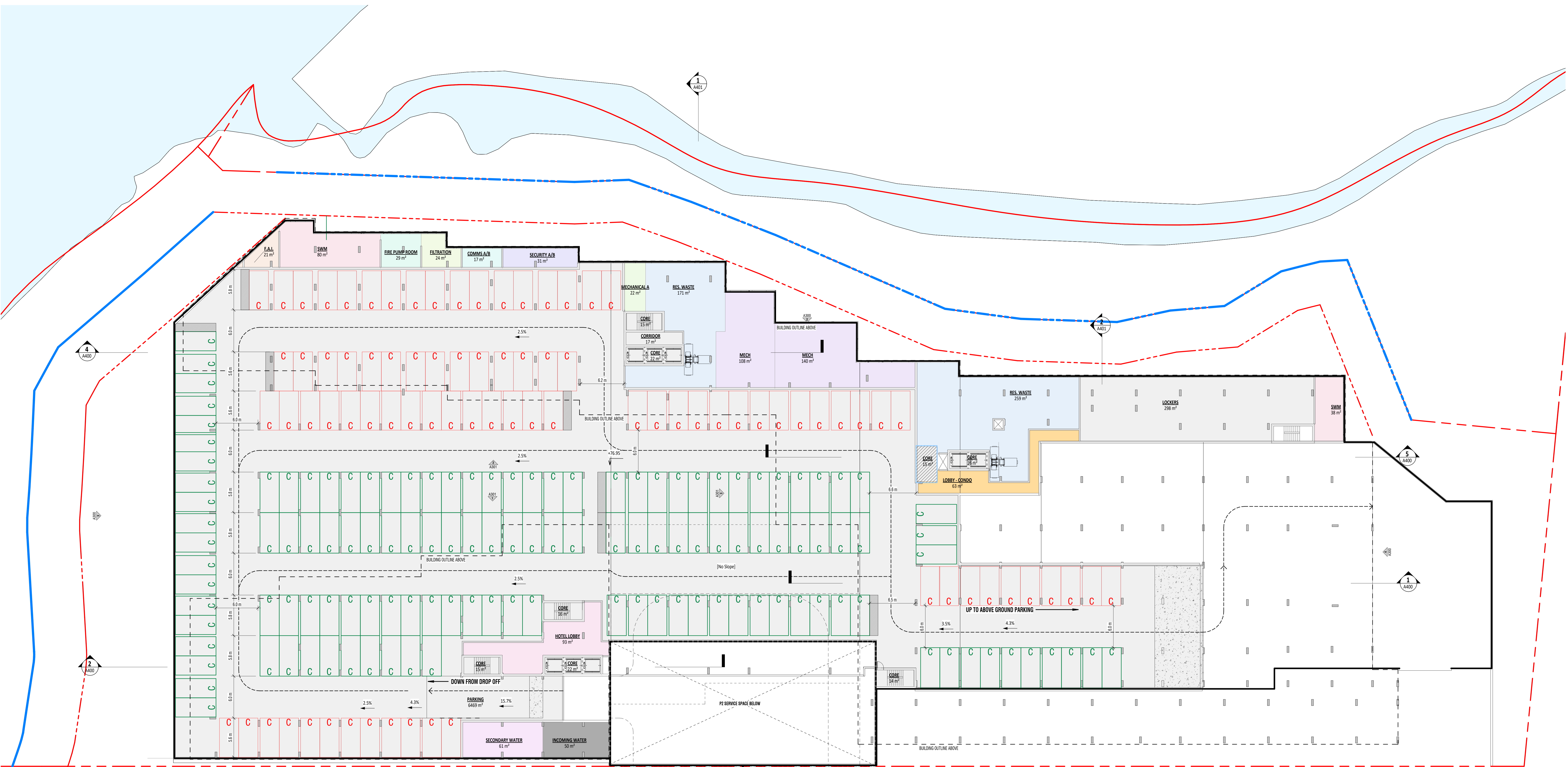


SCALE 1:300
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

ROOF PLAN

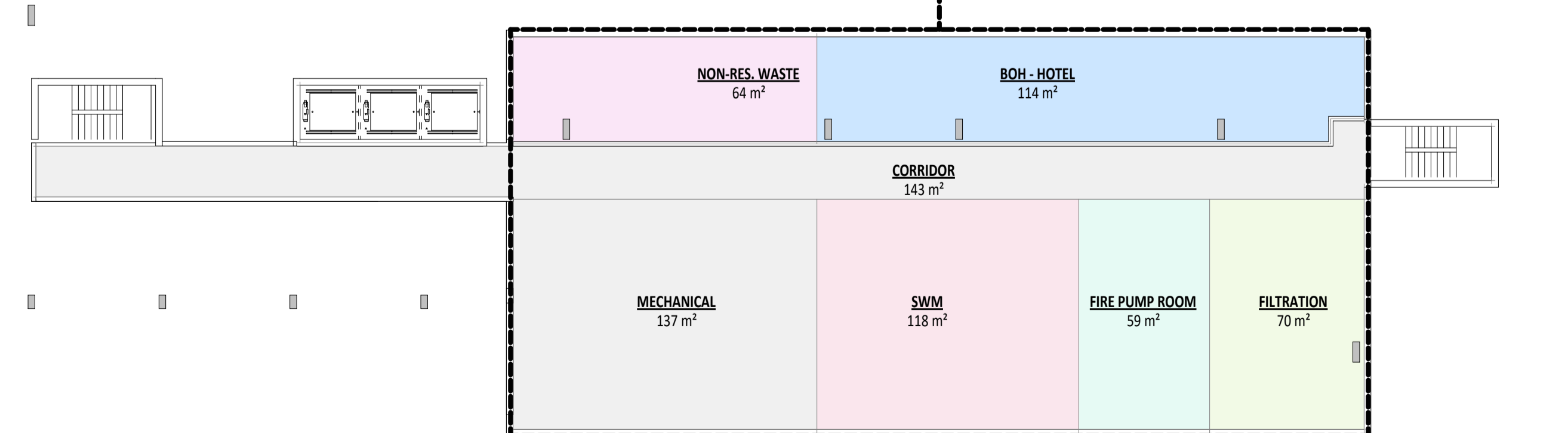
Copyright © 2024 by the Architect.
Any reproduction of this drawing without the prior written approval of the Architect is to be held responsible for any errors or omissions.
The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
- Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 - The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 - Positions of supplied or finished Mechanical or Electrical devices, fittings and valves are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 - The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 - These documents are not to be used for construction unless specifically noted for such purpose.

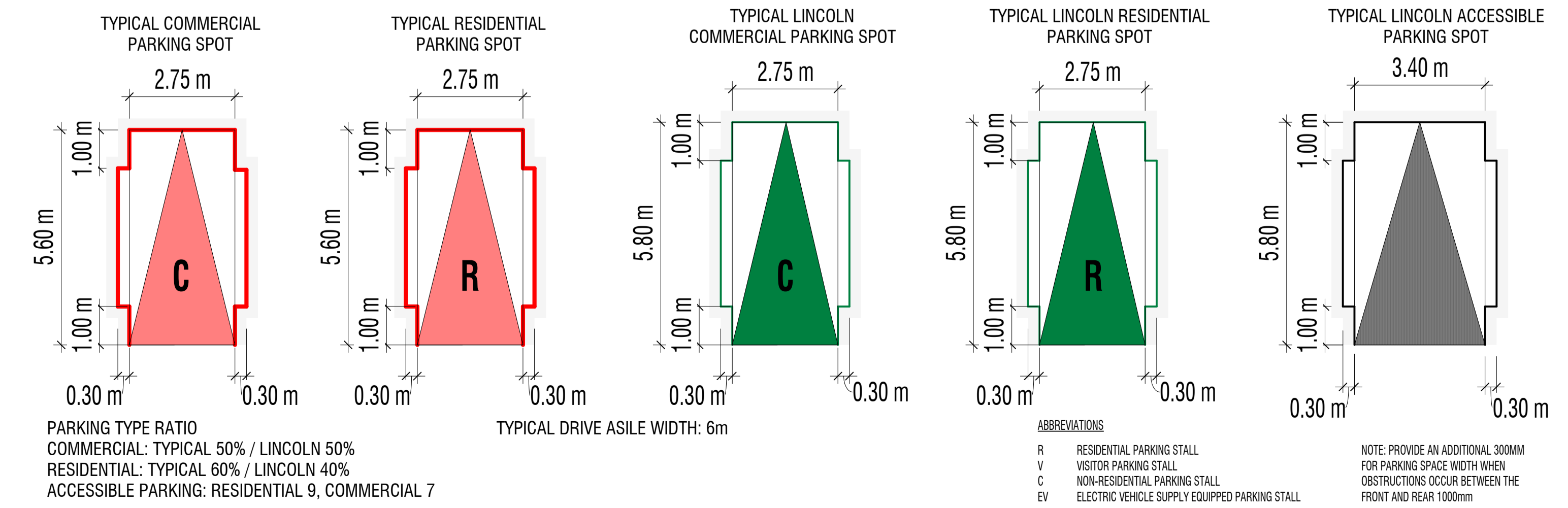


Rev.	Date	Issue
1	2024/09/30	REVISED FOR 28A
2	2024/10/06	REVISED FOR 28A
3	2024/10/17	ISSUED FOR 28A

1 P1
A200 1:200



2 P2
A200 1:200

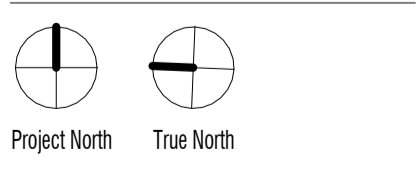


PARKING TYPE RATIO
COMMERCIAL: TYPICAL 50% / LINCOLN 50%
RESIDENTIAL: TYPICAL 60% / LINCOLN 40%
ACCESSIBLE PARKING: RESIDENTIAL 9, COMMERCIAL 7

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
TORONTO, ON, CANADA M5G 2Y9
416-915-1791

Globzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE: As indicated
PROJECT NO: 202302
ISSUE DATE: SEPT 27, 2024

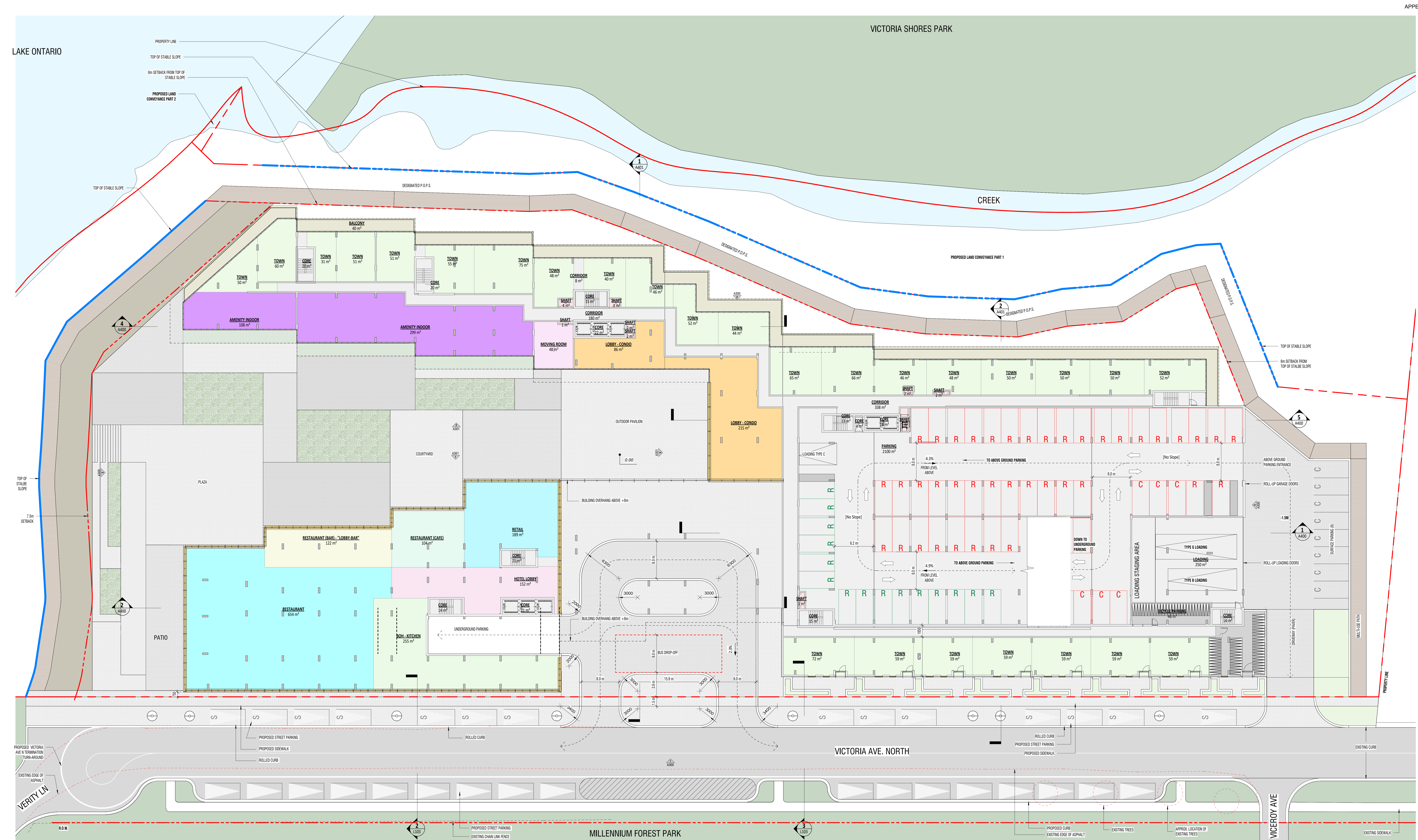
P1 LEVEL

A200

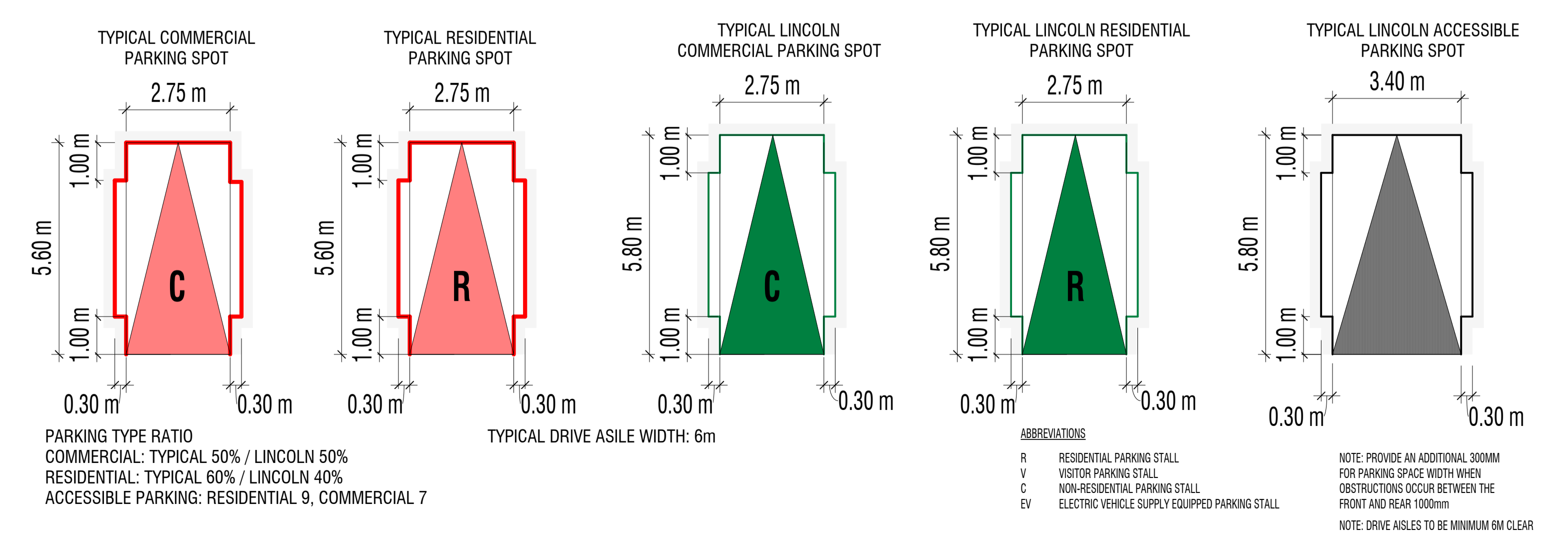
Copyright in this drawing is owned by the Architect. Any reproduction or use of this drawing without the prior written consent of the Architect is prohibited.

The Architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor's documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



1 GROUND FLOOR
A201 1:200

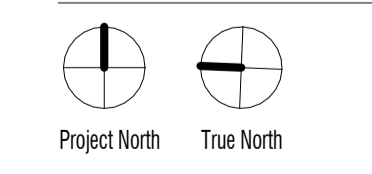


Rev.	Date	Issue
1	2024/09/30	REVISED FOR 2BA
2	2024/10/06	REVISED FOR 2BA
3	2024/10/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2Y9
416-915-1791

Globzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



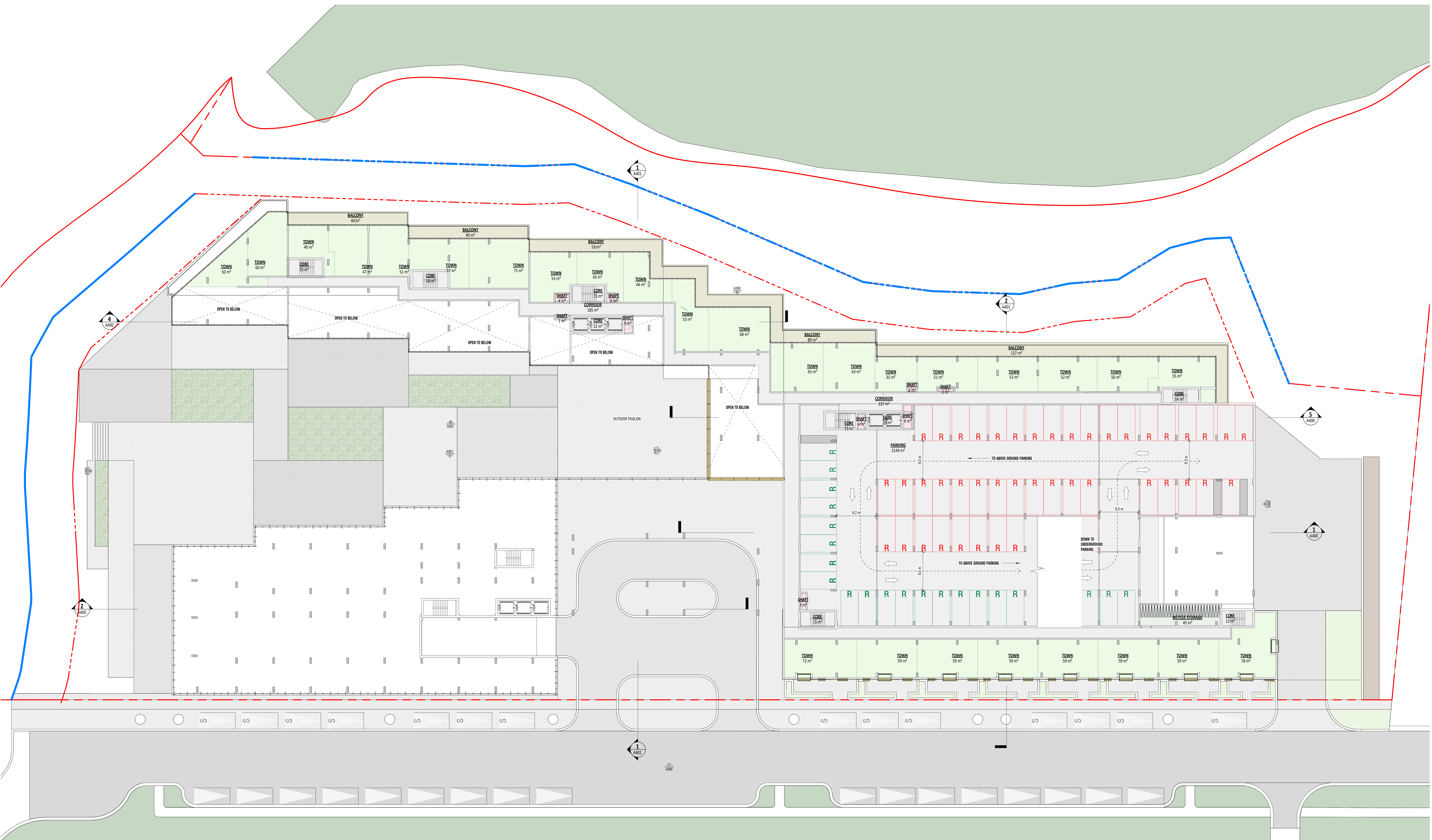
SCALE: As indicated
PROJECT NO. 202302
ISSUE DATE: SEPT 27, 2024

GROUND FLOOR

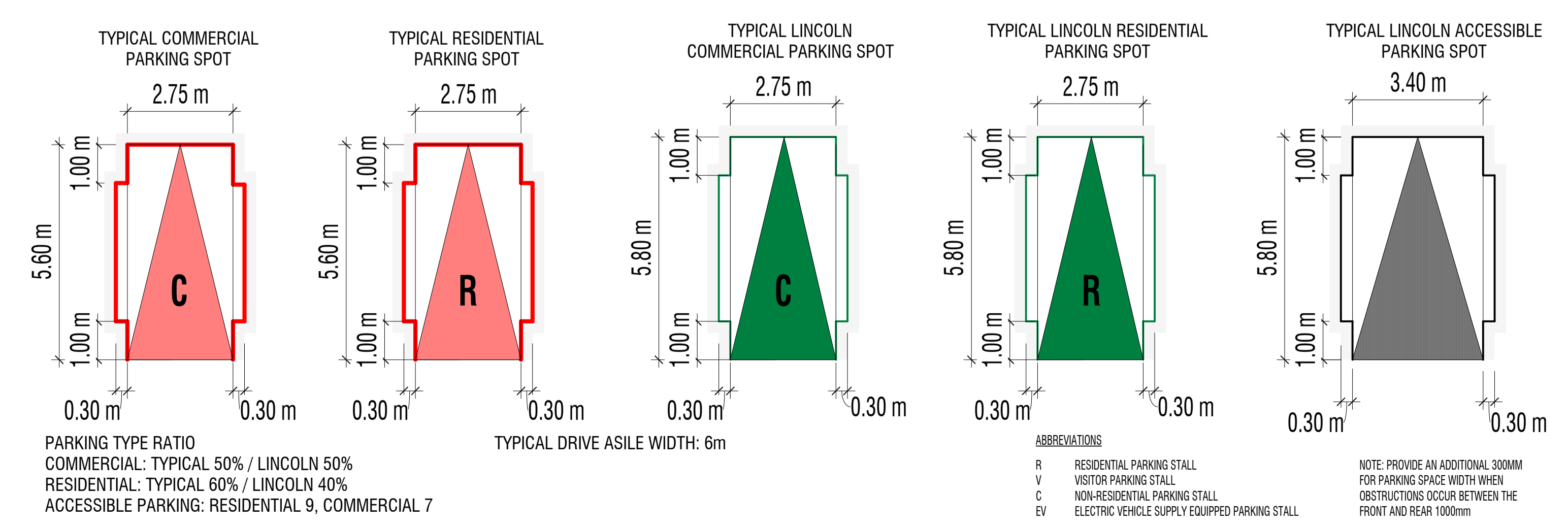
Copyright is that of the Architect.
Any reuse of the drawings reproduced by any means from any media without prior written approval of the Architect is to be used for information only.
The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

- Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
- Positions of specified or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
- The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
- These documents are not to be used for construction unless specifically noted for such purpose.



1 Level 1M
A202 1:200

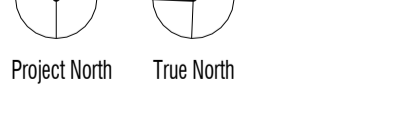


Rev.	Date	Issue
1	2024/09/30	RE-ISSUED FOR 28A
2	2024/09/30	RE-ISSUED FOR 28A
3	2024/02/17	ISSUED FOR 28A

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2Y9
 416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



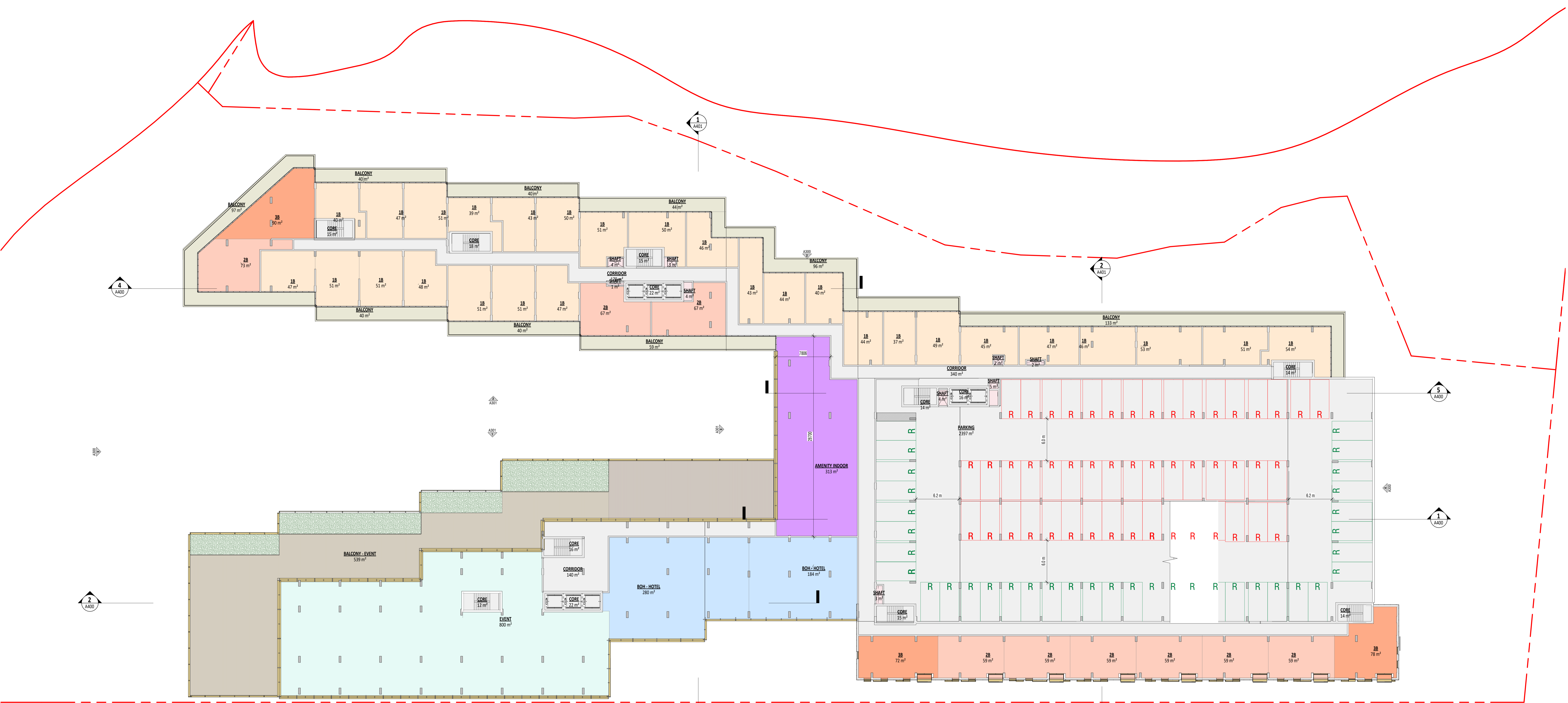
SCALE: As indicated
 PROJECT NO: 202302
 ISSUE DATE: SEPT 27, 2024

MEZZANINE LEVEL

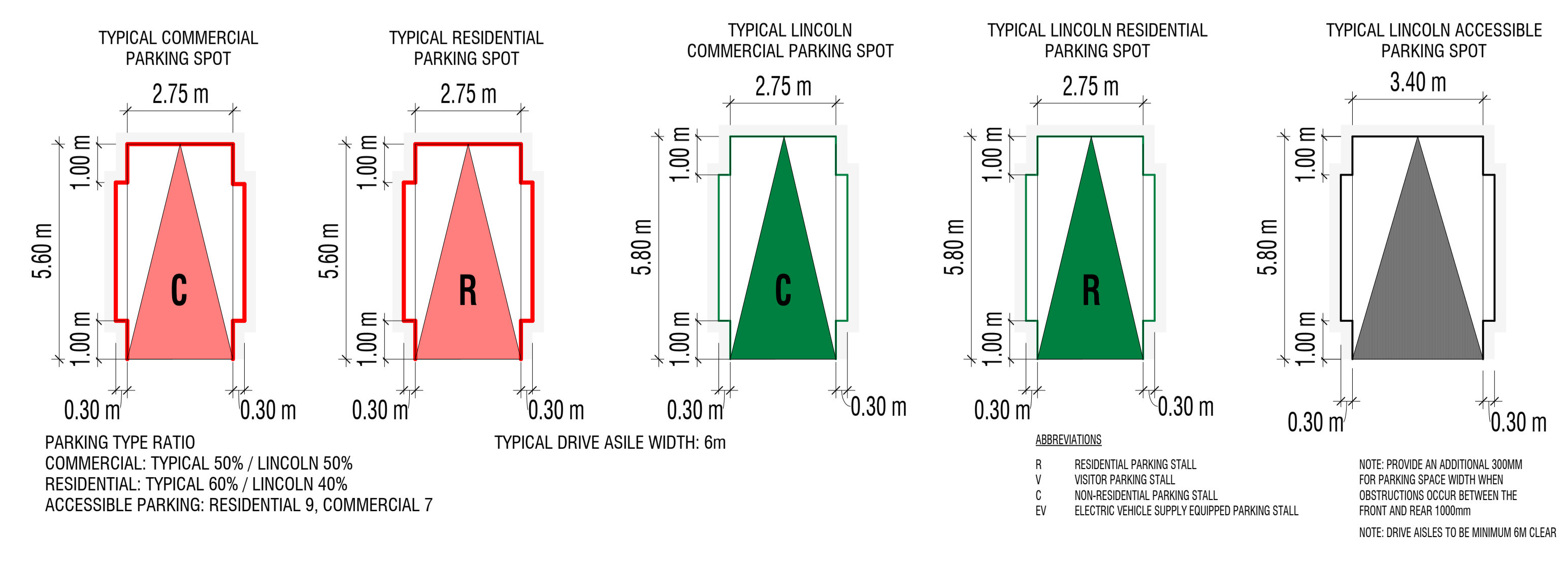
Copyright in that of the Architect.
 Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.
 The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



1 Level 2
 A203 1:200

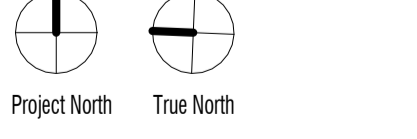


Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/08/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2Y9
 416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



Project North True North

SCALE As indicated
 PROJECT NO. 202302
 ISSUE DATE SEPT 27, 2024

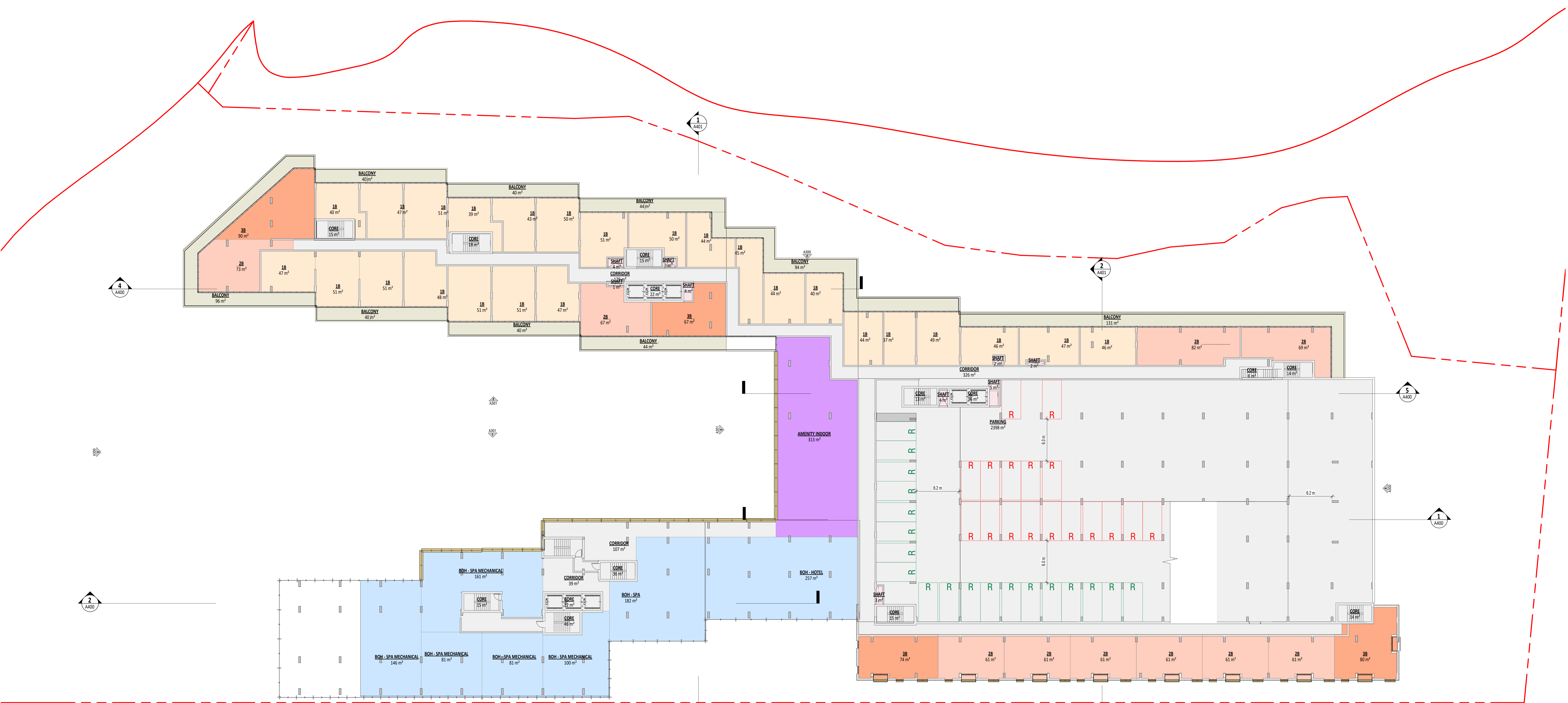
LEVEL 2

A203

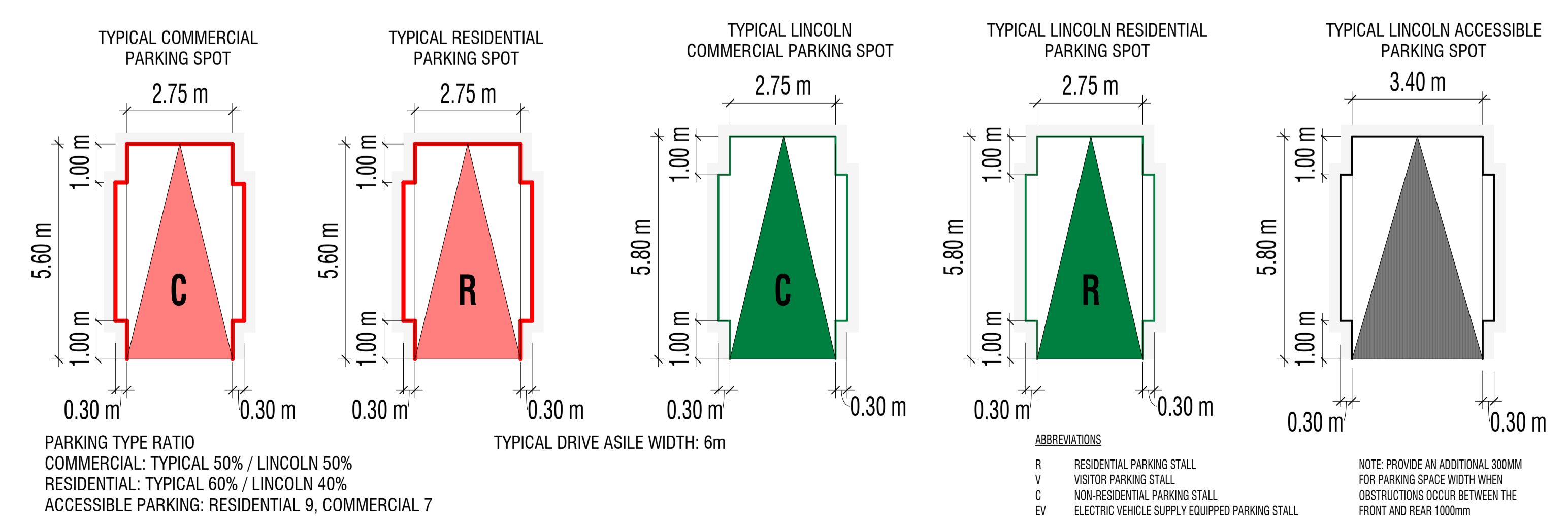
Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and valves are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



1 Level 3
A204 1:200



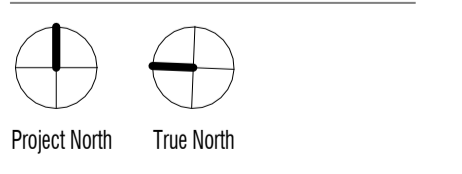
3 2024/09/30 RE-ISSUED FOR 2BA
2 2024/06/26 RE-ISSUED FOR 2BA
1 2024/02/17 ISSUED FOR 2BA

Rev. Date Issue

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
TORONTO, ON, CANADA M5J 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE As Indicated
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

LEVEL 3

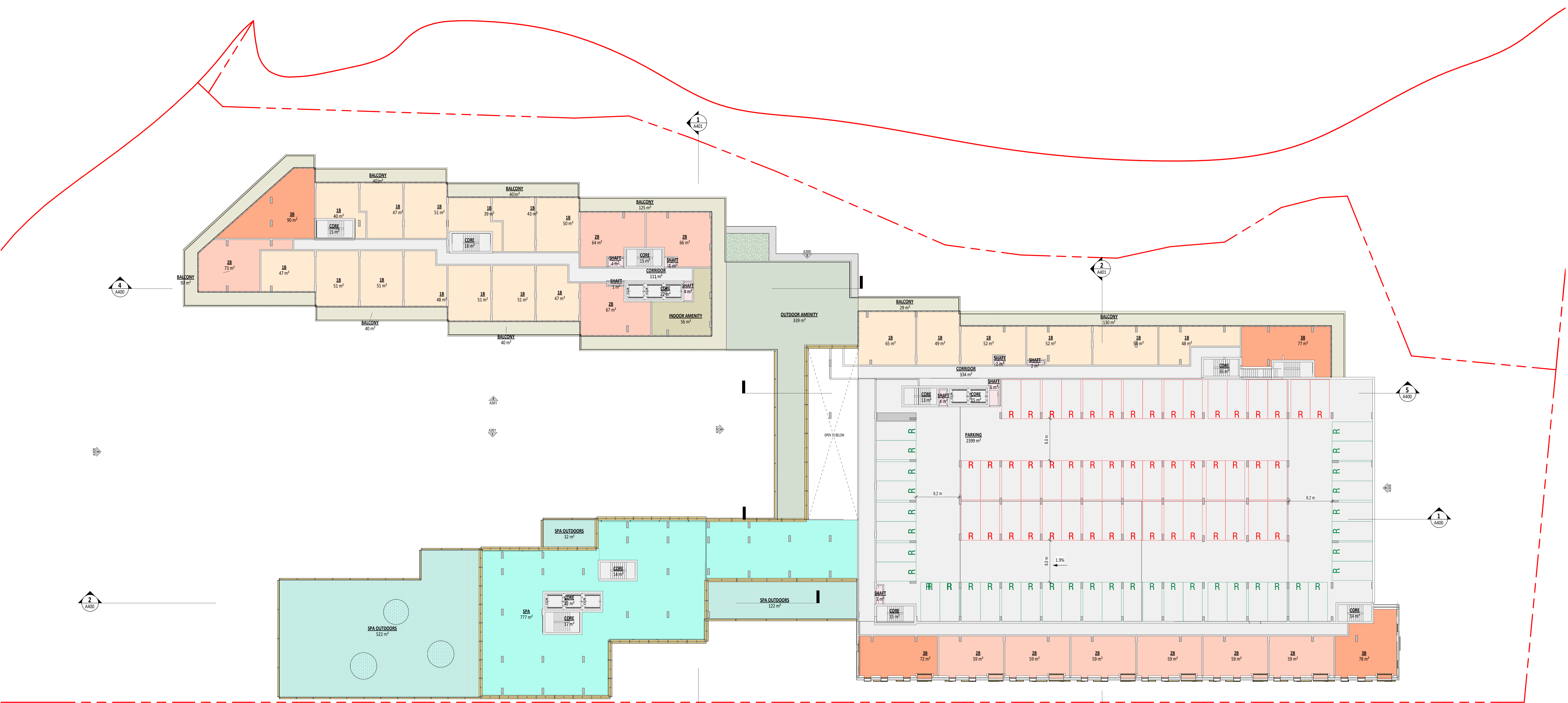
A204

Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

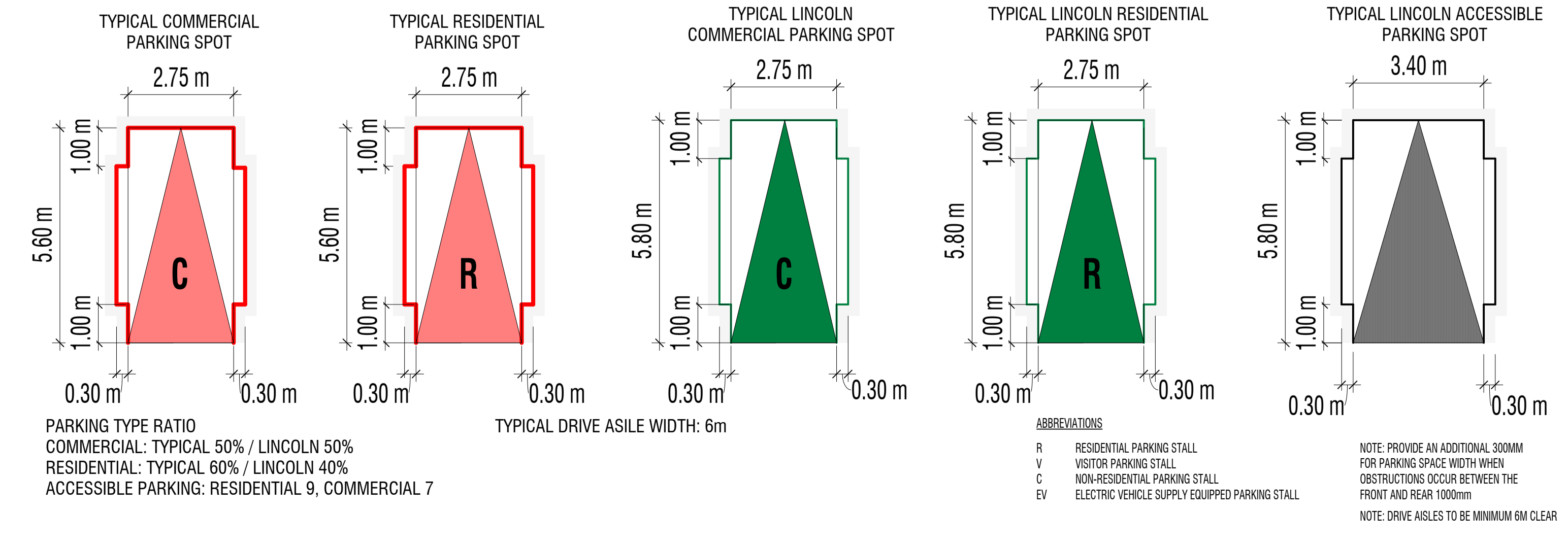
The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and valves are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



1 Level 4
A205 1:300



Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/04/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



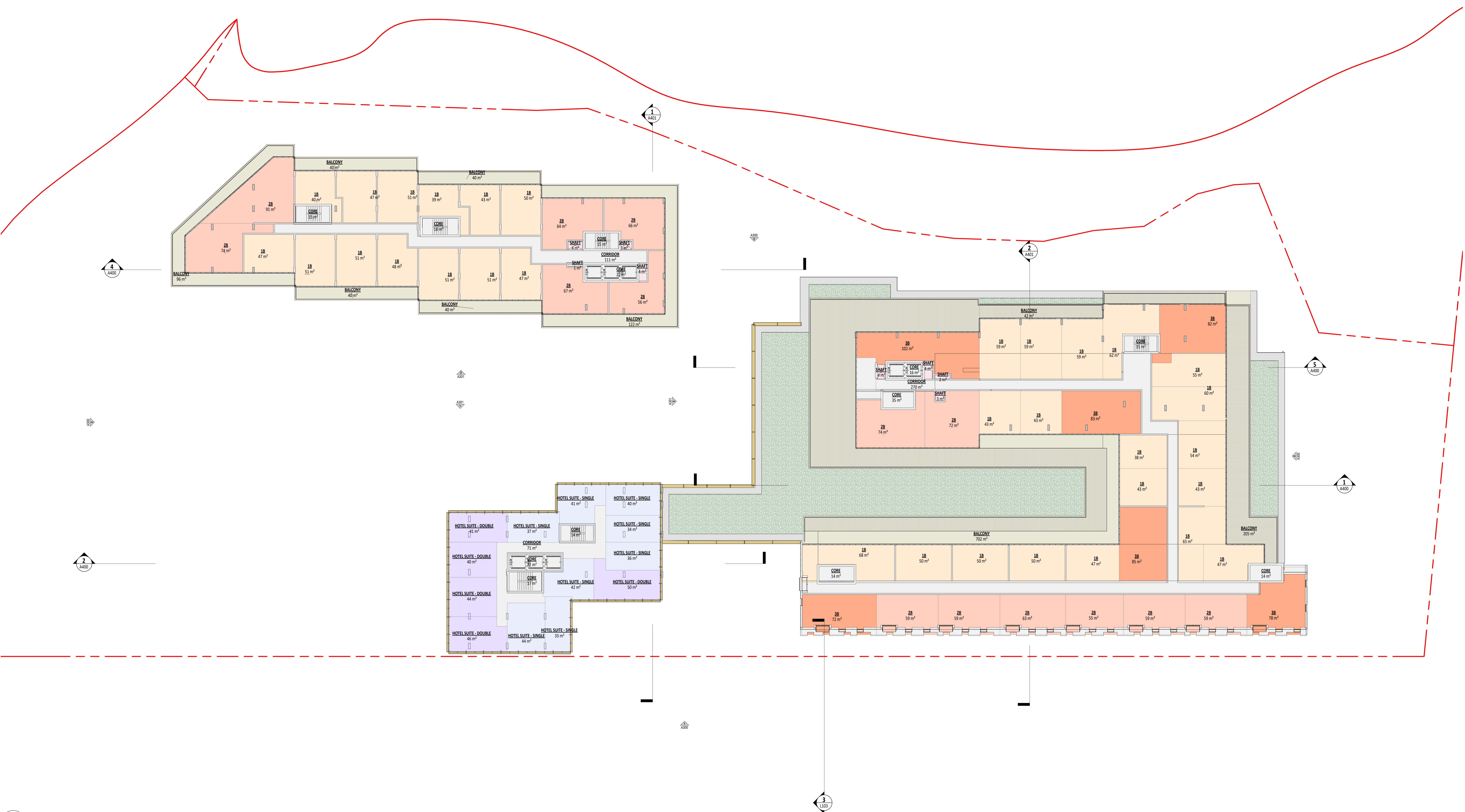
SCALE: As indicated
PROJECT NO.: 202302
ISSUE DATE: SEPT 27, 2024

LEVEL 4

Copyright is that of the Architect.
Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



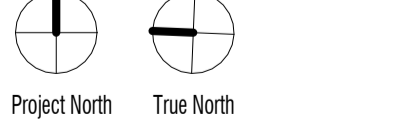
1 Level 5
A206 1:200

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 28A
2	2024/09/26	RE-ISSUED FOR 28A
1	2024/02/17	ISSUED FOR 28A

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2T9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

LEVEL 5

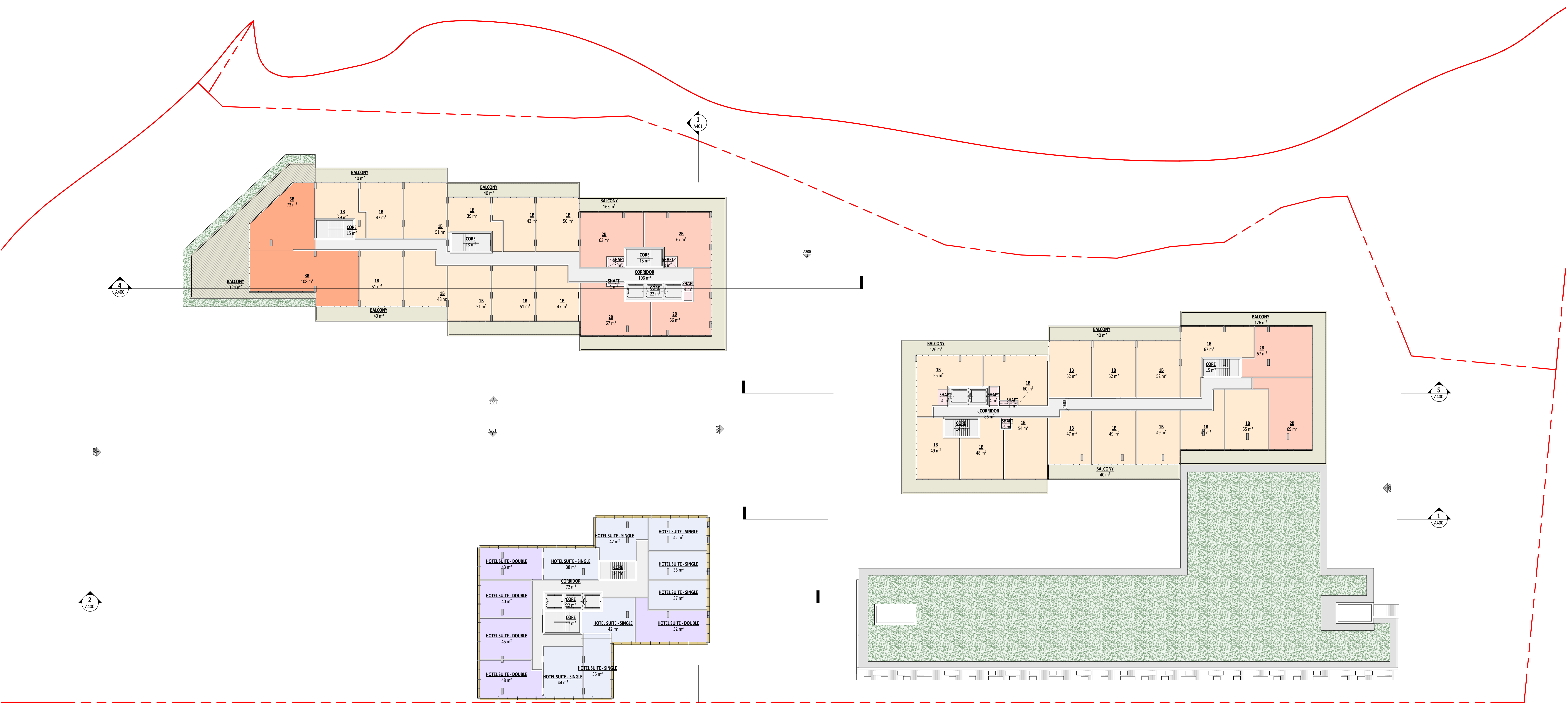
A206

Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



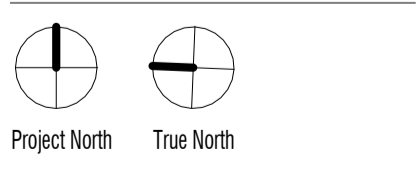
1 Level 6
A207 1:200

Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

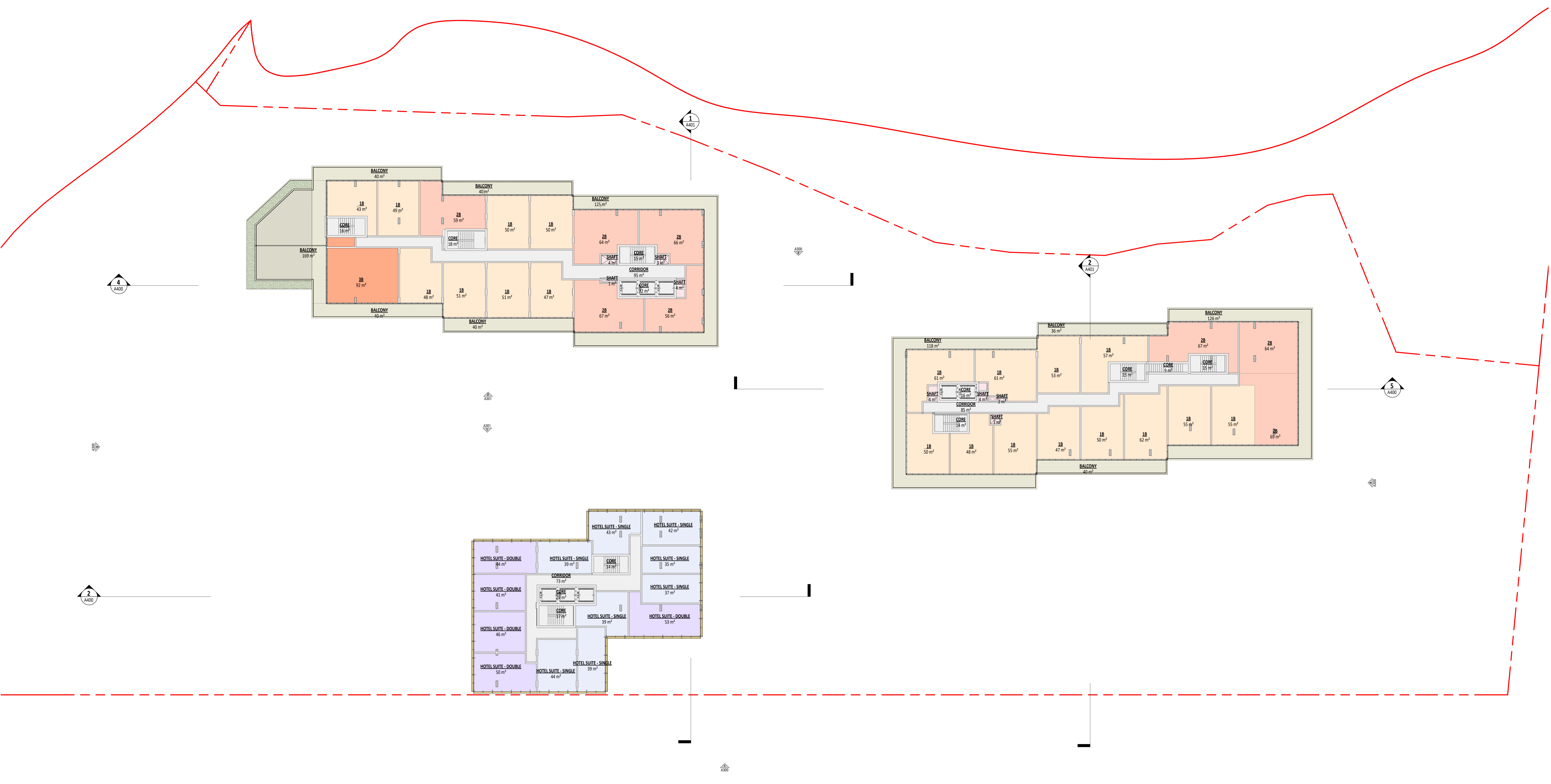
LEVEL 6

A207

Copyright in that of the Architect.
 Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



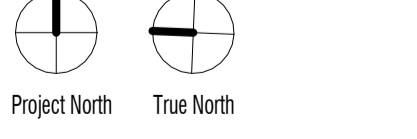
1 Level 7
 A208 1:200

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2Y9
 416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



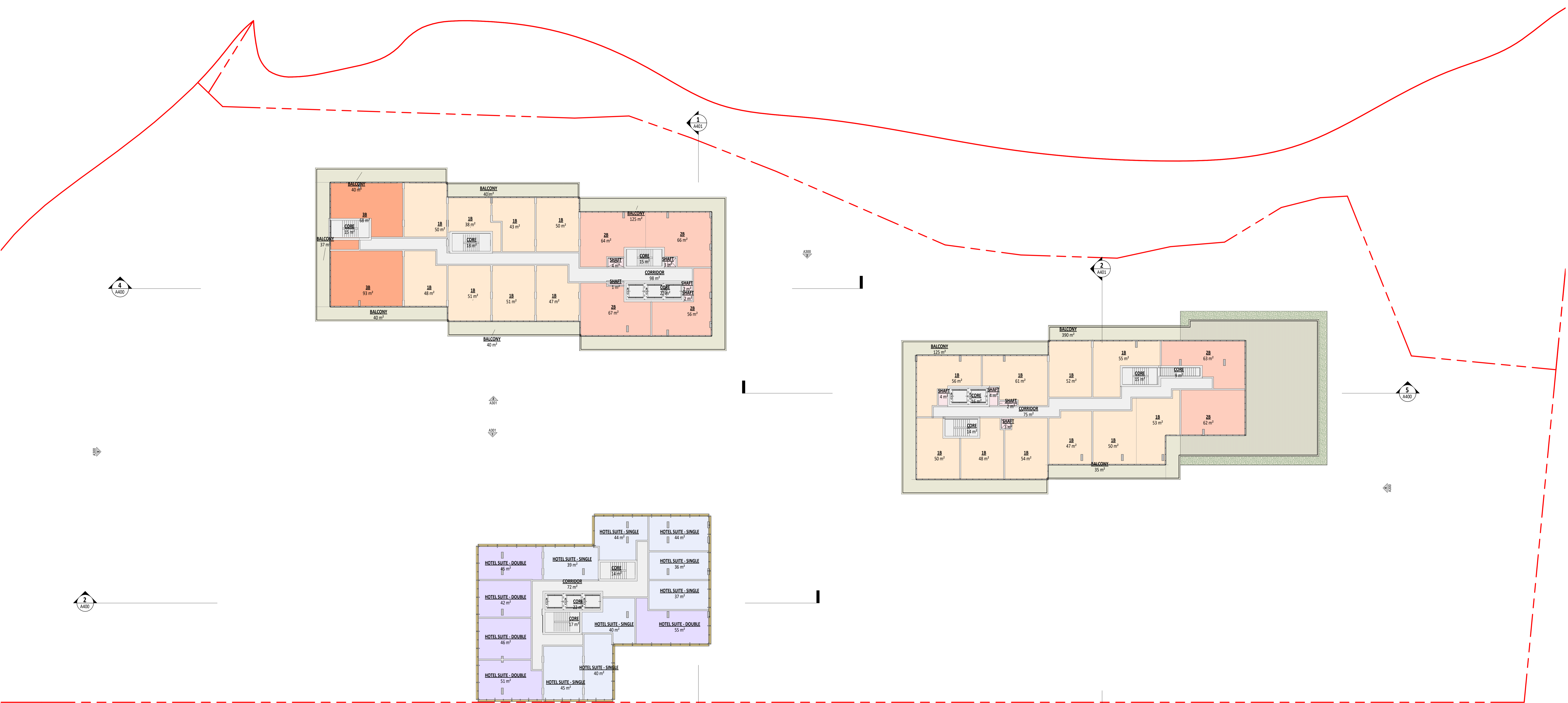
SCALE 1:200
 PROJECT NO. 202302
 ISSUE DATE SEPT 27, 2024

LEVEL 7

Copyright in this drawing is reserved by the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



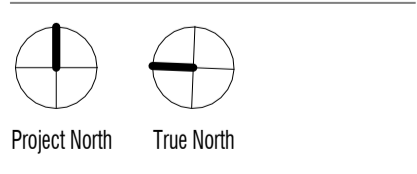
1 BLDG A - Level 8.
A209 1:200

Rev.	Date	Issue
3	2024/09/30	REVISED FOR 2BA
2	2024/09/26	REVISED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416-915-1791

Global
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

LEVEL 8

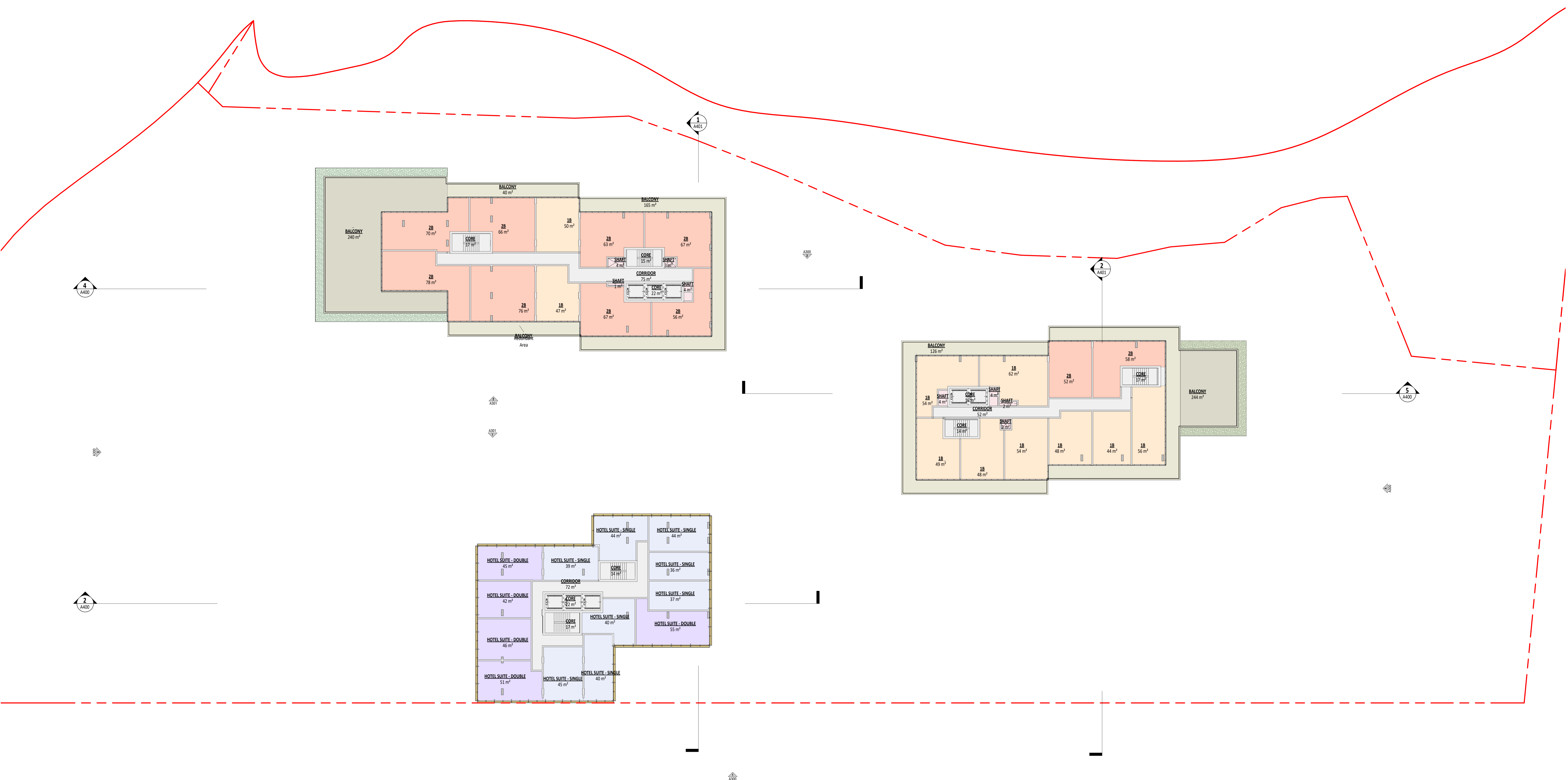
A209

Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



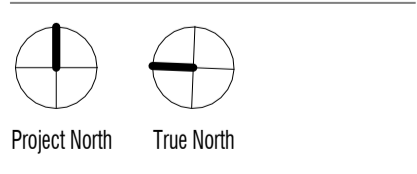
1 Level 9
A210 1:200

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/08/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416-915-1791

Globalzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

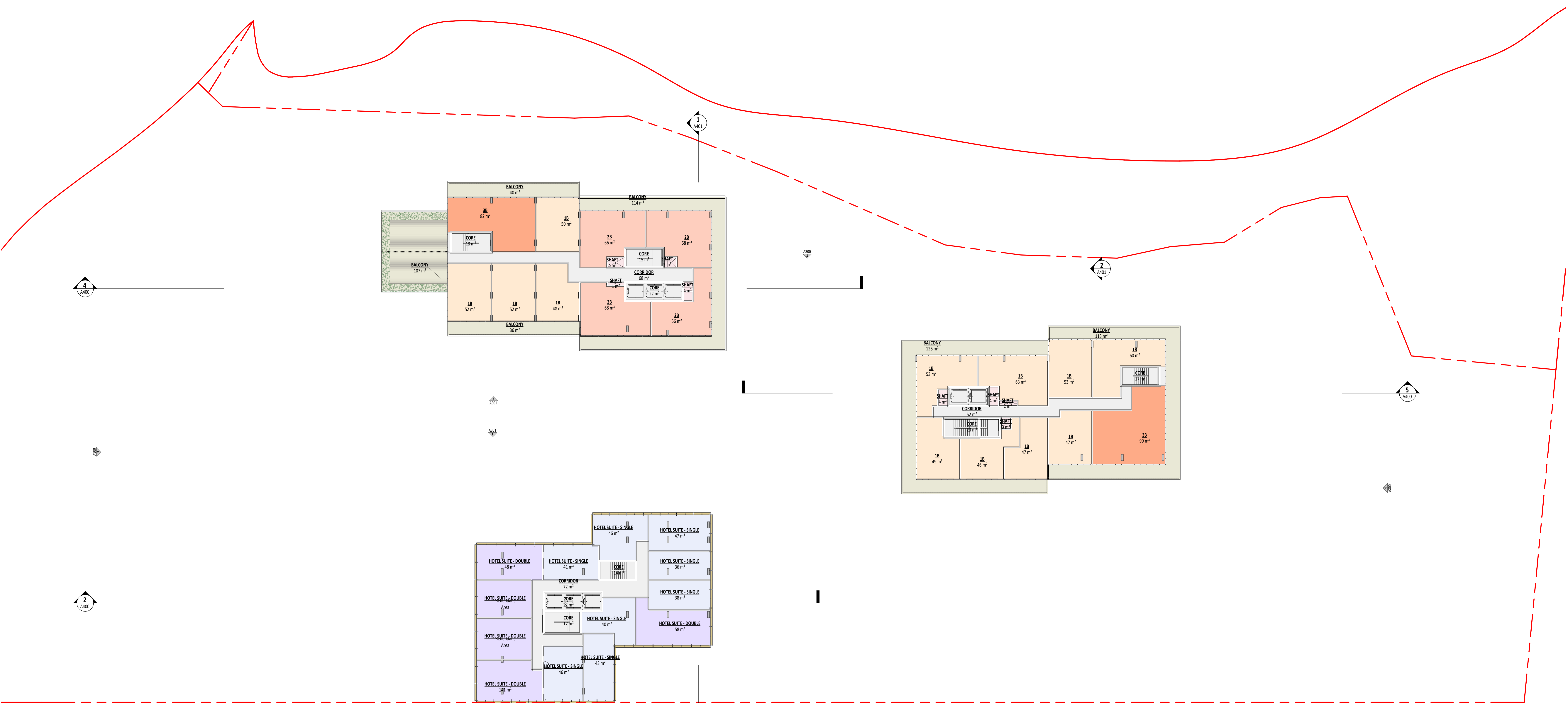
LEVEL 9

Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



1 Level 10
A211 1:200

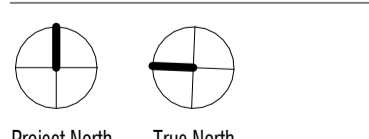
3	2024/09/30	REVISED FOR 2BA
2	2024/09/26	REVISED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

Rev.	Date	Issue
------	------	-------

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



Project North True North

SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

LEVEL 10

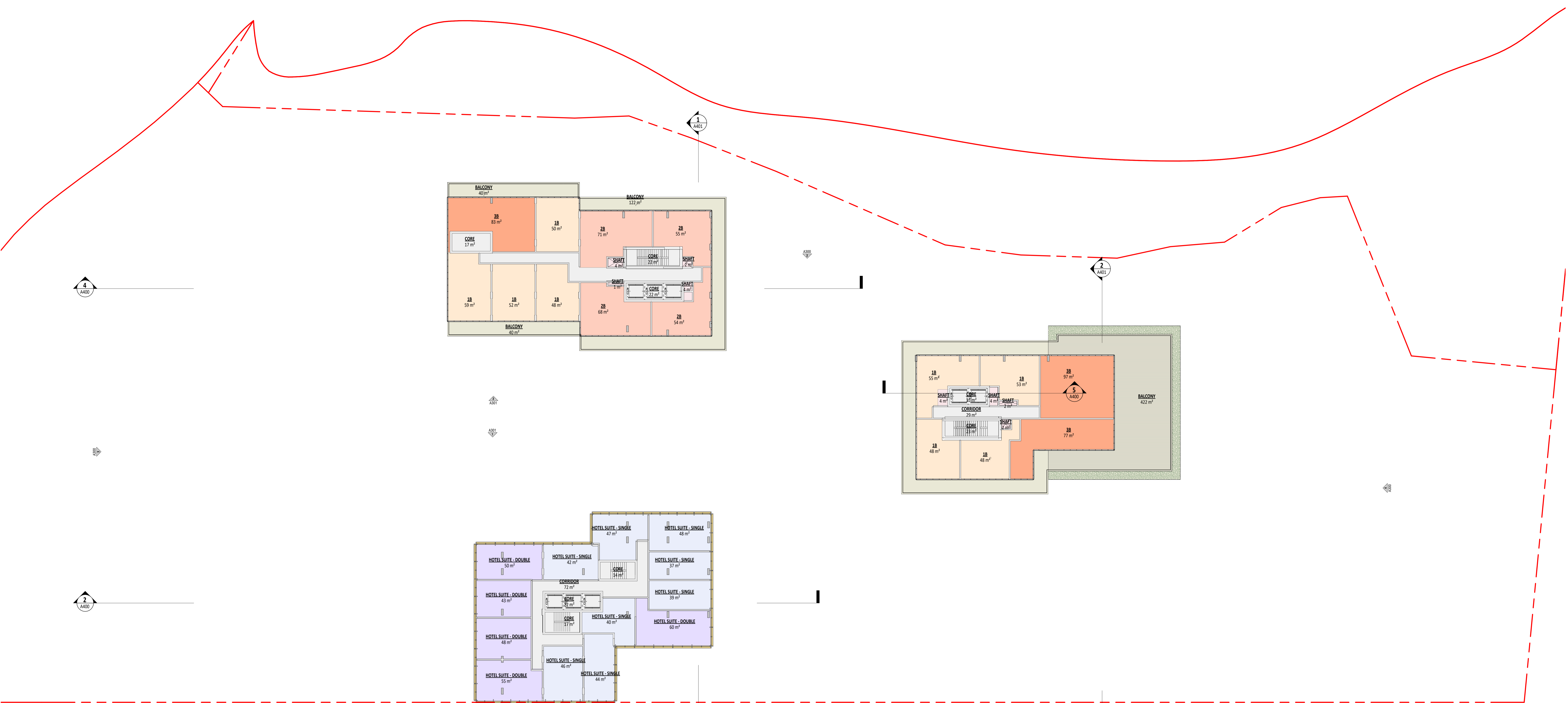
A211

Copyright is that of the Architect.
 Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Discrepancies indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



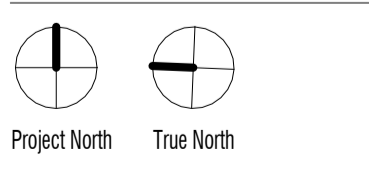
1 Level 11
 A212 1:200

Rev.	Date	Issue
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2Y9
 416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
 PROJECT NO. 202302
 ISSUE DATE SEPT 27, 2024

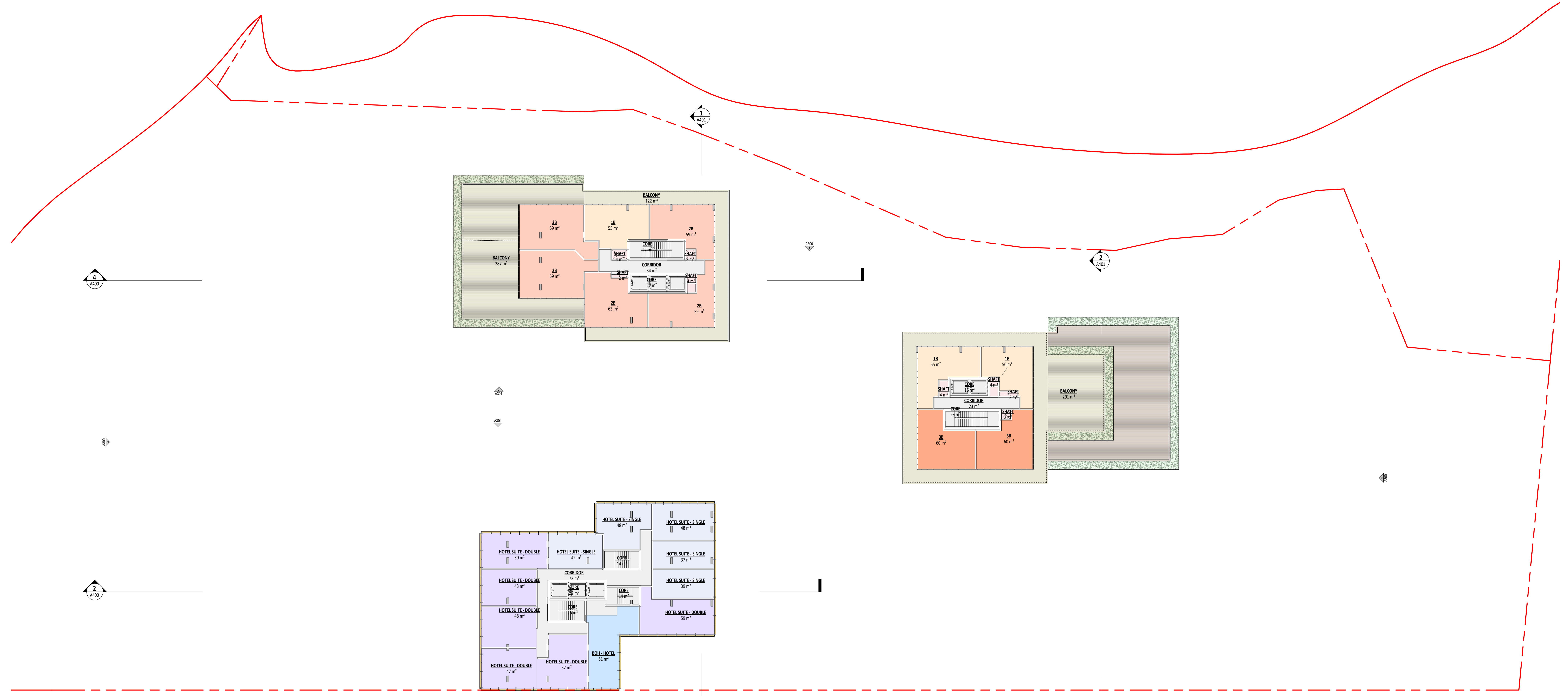
LEVEL 11

Copyright in this drawing is the property of the Architect. Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be used for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of this drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contract Documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



4
A400

1
A401

2
A402

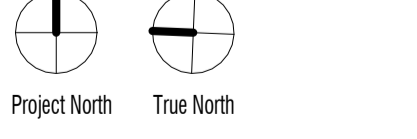
2
A400

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2Y9
 416-915-1791

Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE: 1:200
 PROJECT NO.: 202302
 ISSUE DATE: SEPT 27, 2024

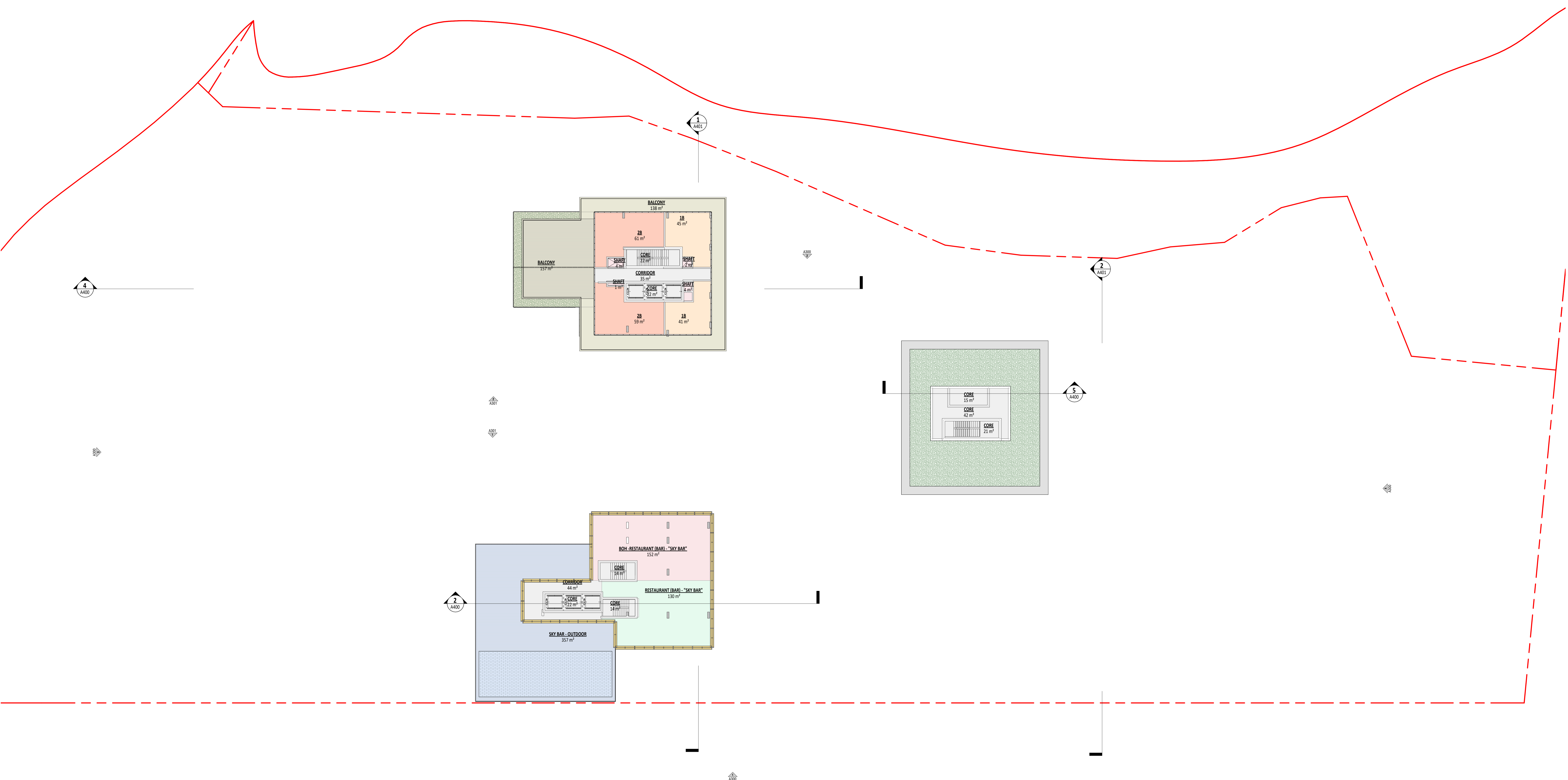
LEVEL 12

Copyright in this drawing is the property of the Architect. Any reuse or reproduction of this drawing without the prior written approval of the Architect is to be held for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Positions of supplied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



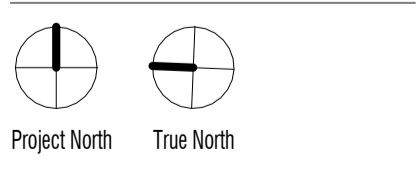
1 Level 13
A214 1:200

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/09/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2T9
416-915-1791

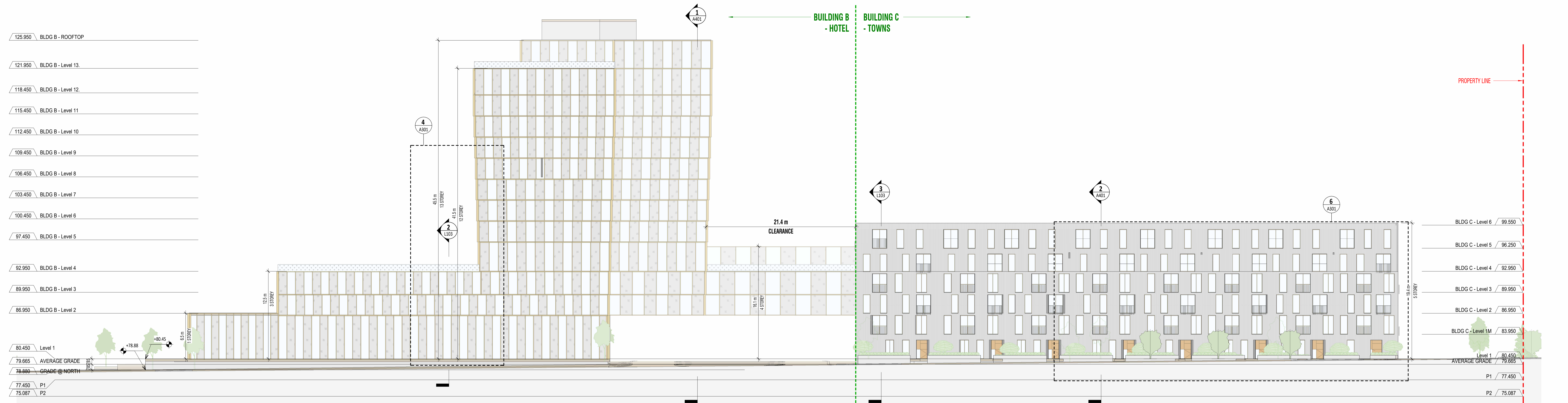
Globzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH

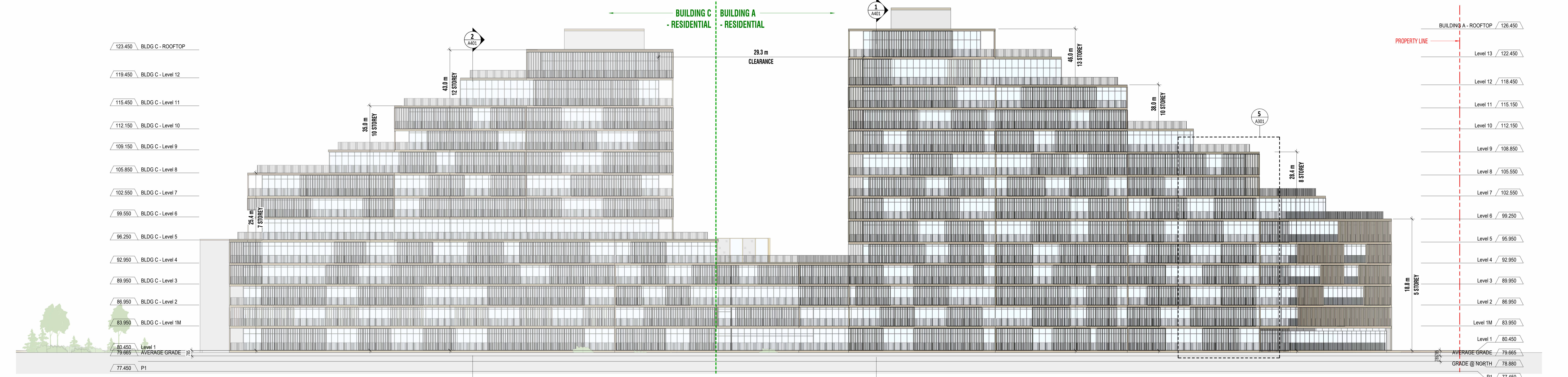


SCALE: 1:200
PROJECT NO.: 202302
ISSUE DATE: SEPT 27, 2024

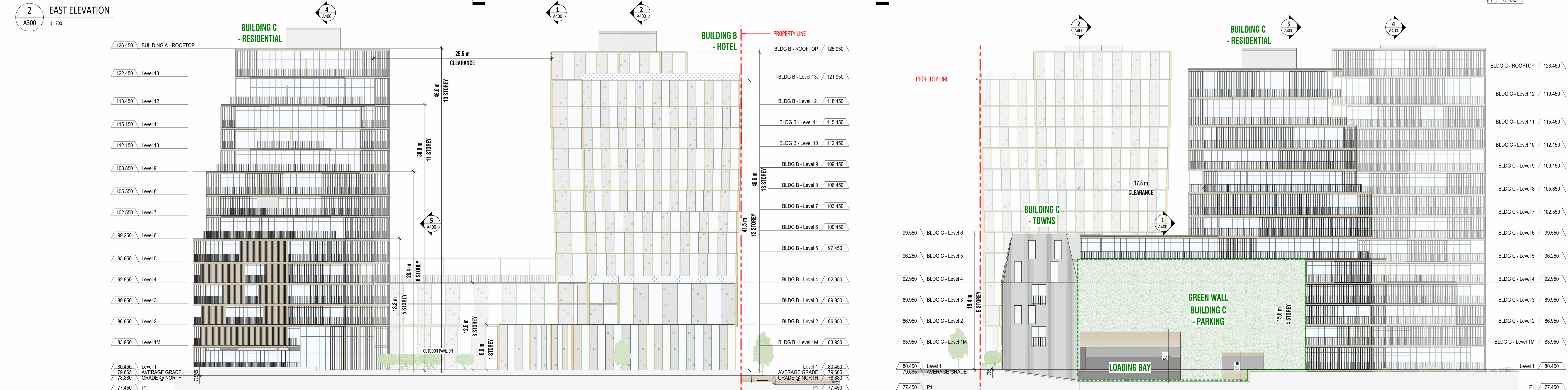
LEVEL 13



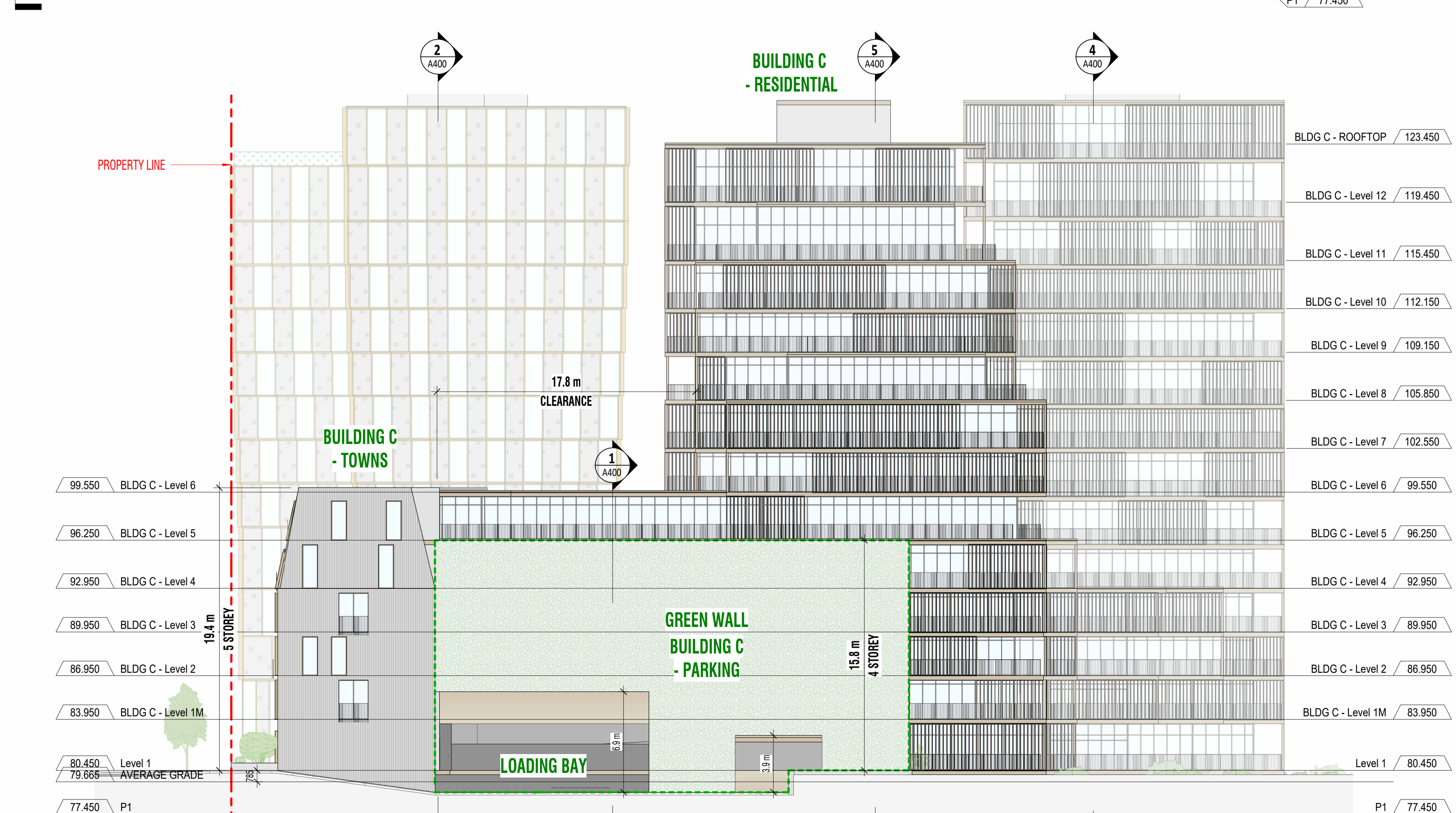
1 WEST ELEVATION
A300 1:200



2 EAST ELEVATION
A300 1:200



3 NORTH ELEVATION
A300 1:200



4 SOUTH ELEVATION
A300 1:200

3 2024/09/30 RE-SIGNED FOR 2BA
2 2024/04/26 RE-SIGNED FOR 2BA
1 2024/02/17 SIGNED FOR 2BA

Rev. Date Issued

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2Y9
416-915-1791

Globalzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH

Project North True North

SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

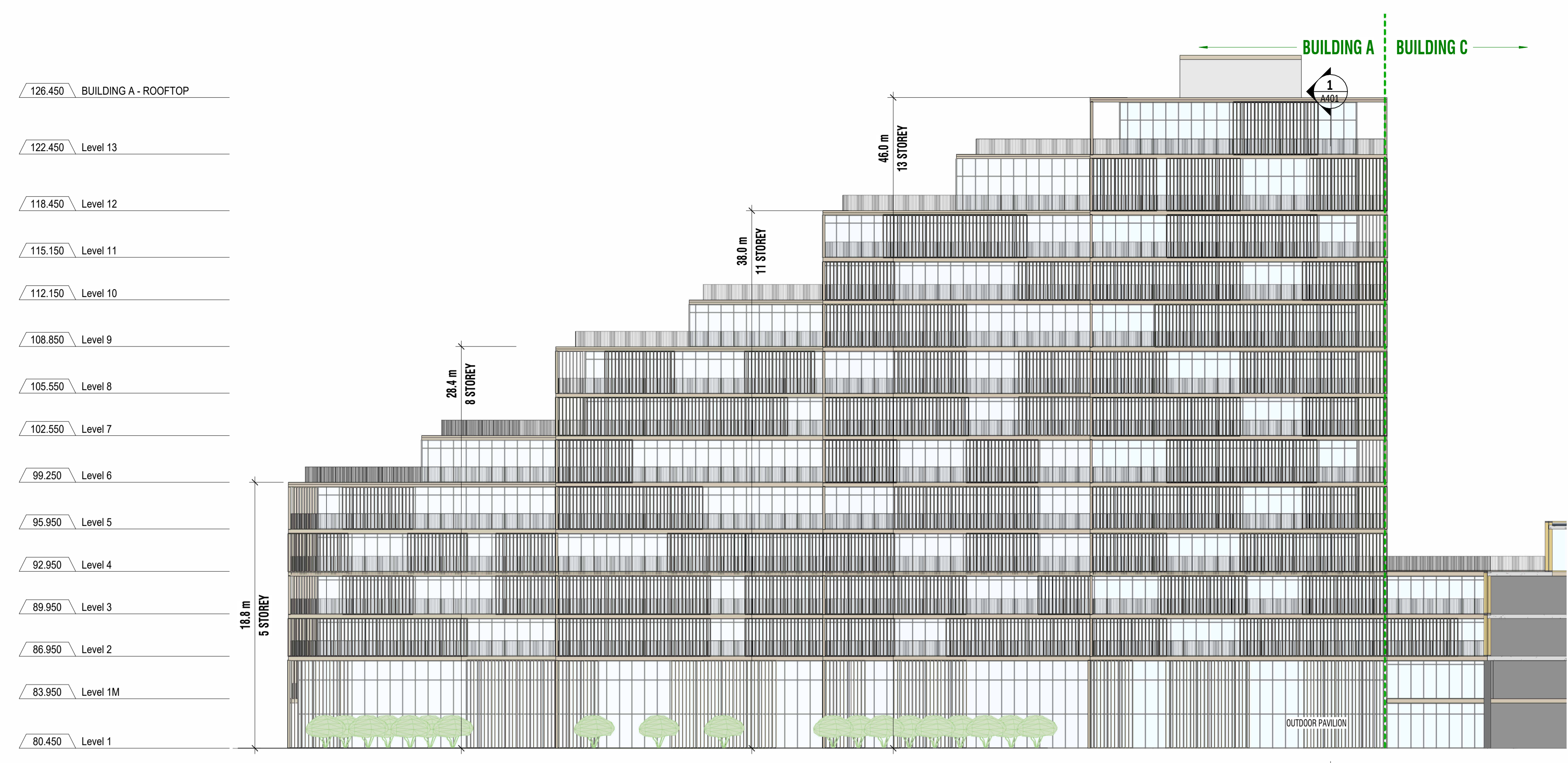
ELEVATIONS

A300

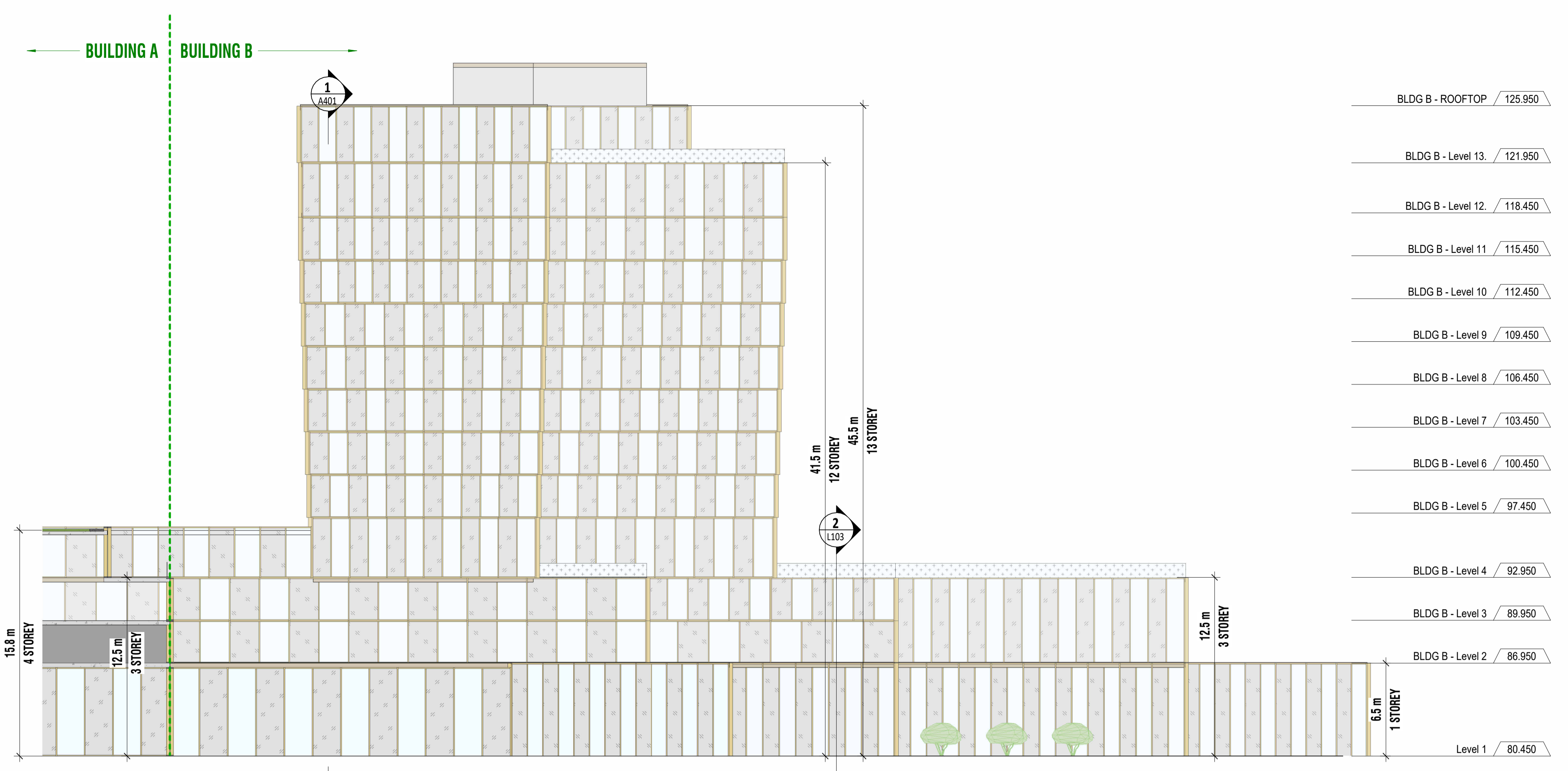
Copyright is that of the Architect.
Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be read for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of applied or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



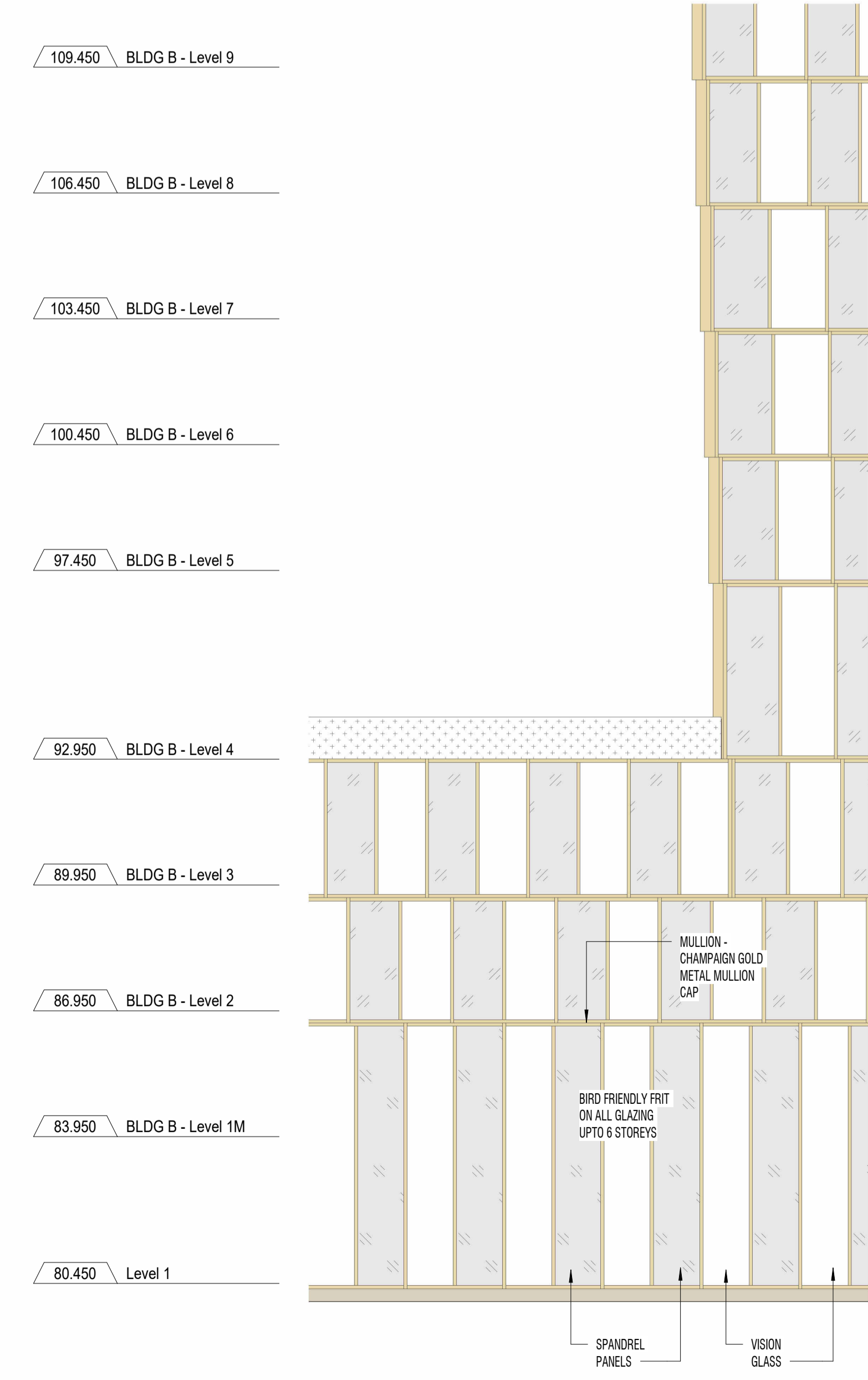
2 WEST ELEVATION - COURTYARD - BUILDING A
A301 1:200



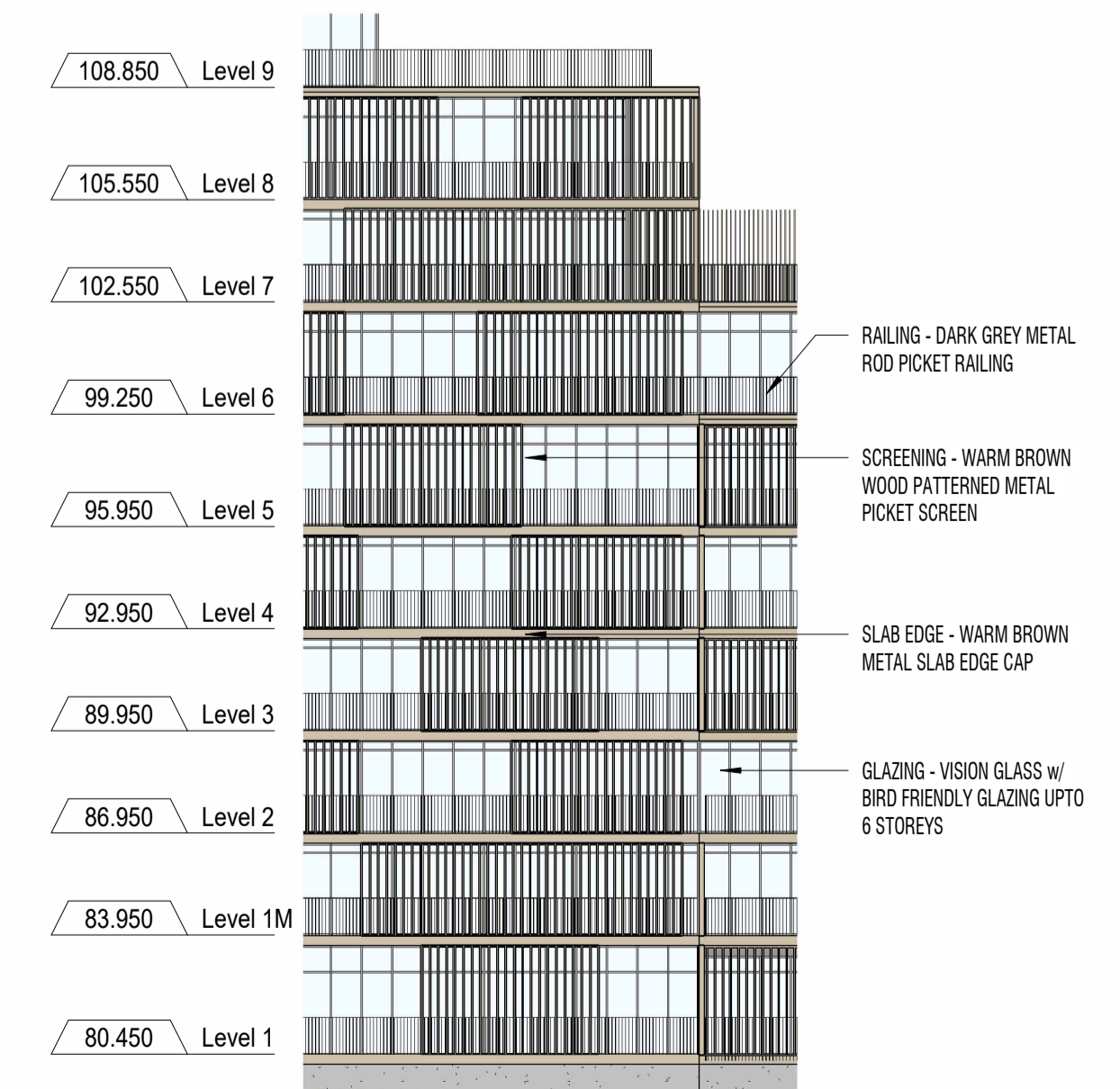
1 EAST ELEVATION - COURTYARD - BUILDING B
A301 1:200



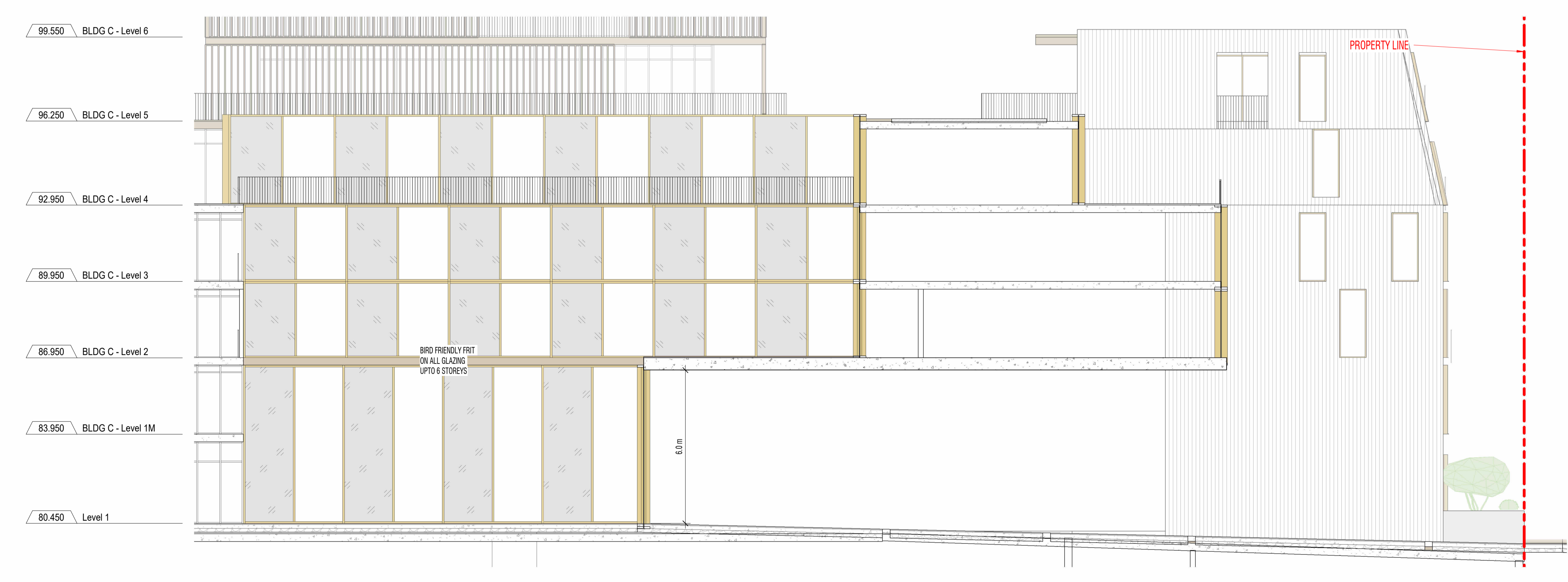
6 ENLARGED - WEST ELEVATION - BUILDING C - TOWNS
A301 1:100



4 ENLARGED - WEST ELEVATION
A301 1:100



5 ENLARGED - EAST ELEVATION
A301 1:200



3 ENLARGED - NORTH ELEVATION - PLAZA BUILDING C
A301 1:100

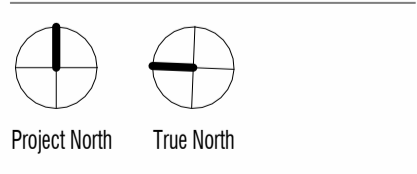
Rev.	Date	Issue
3	2024/09/30	REVISED FOR 2BA
2	2024/09/26	REVISED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

Rev. Date Issue

gh3
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2Y9
416-915-1791

Globalzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE As indicated
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

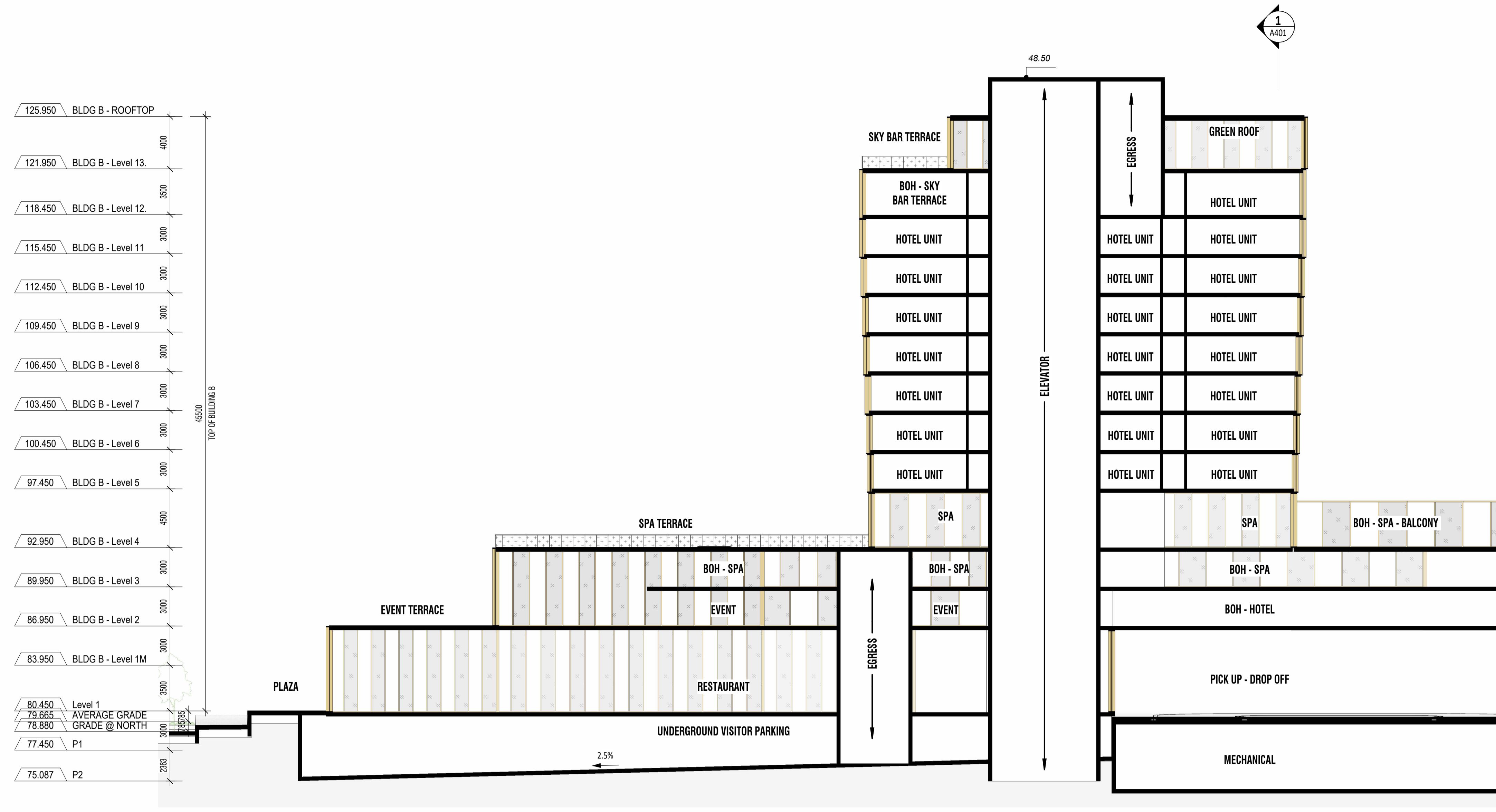
COURTYARD ELEVATIONS

A301

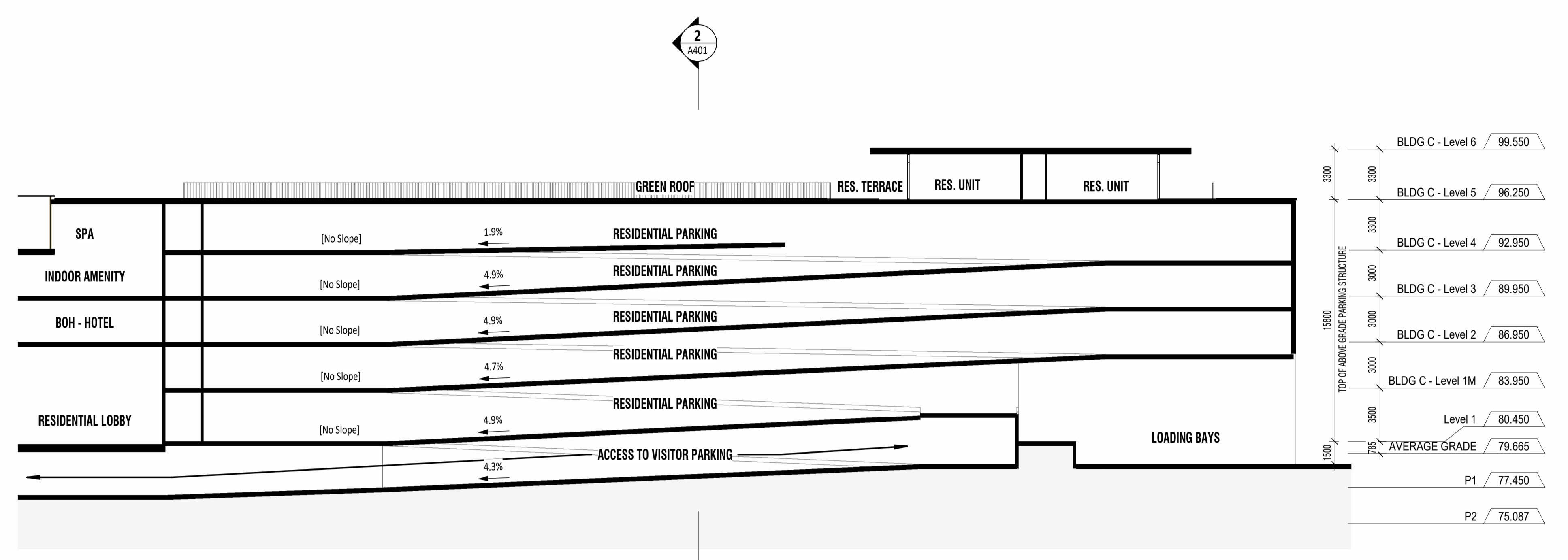
Copyright is that of the Architect.
Any errors in this drawing reproduced by any means from any media without prior written approval of the Architect is to be read for information only.

The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

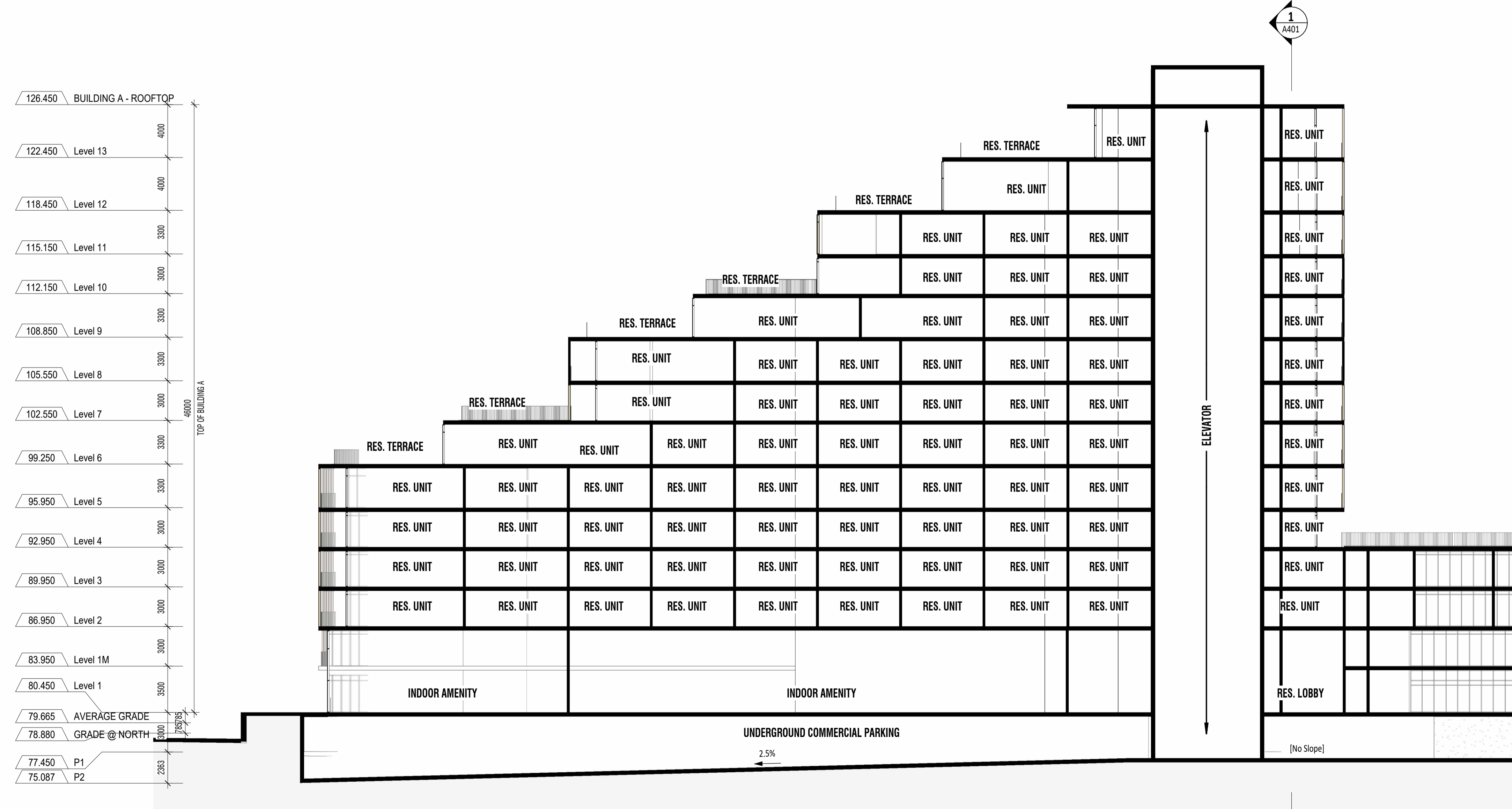
- GENERAL NOTES:**
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In case of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 3. Positions of approved or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings that govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 4. Dimensions indicated on plans between the faces of finished surfaces unless otherwise noted.
 5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



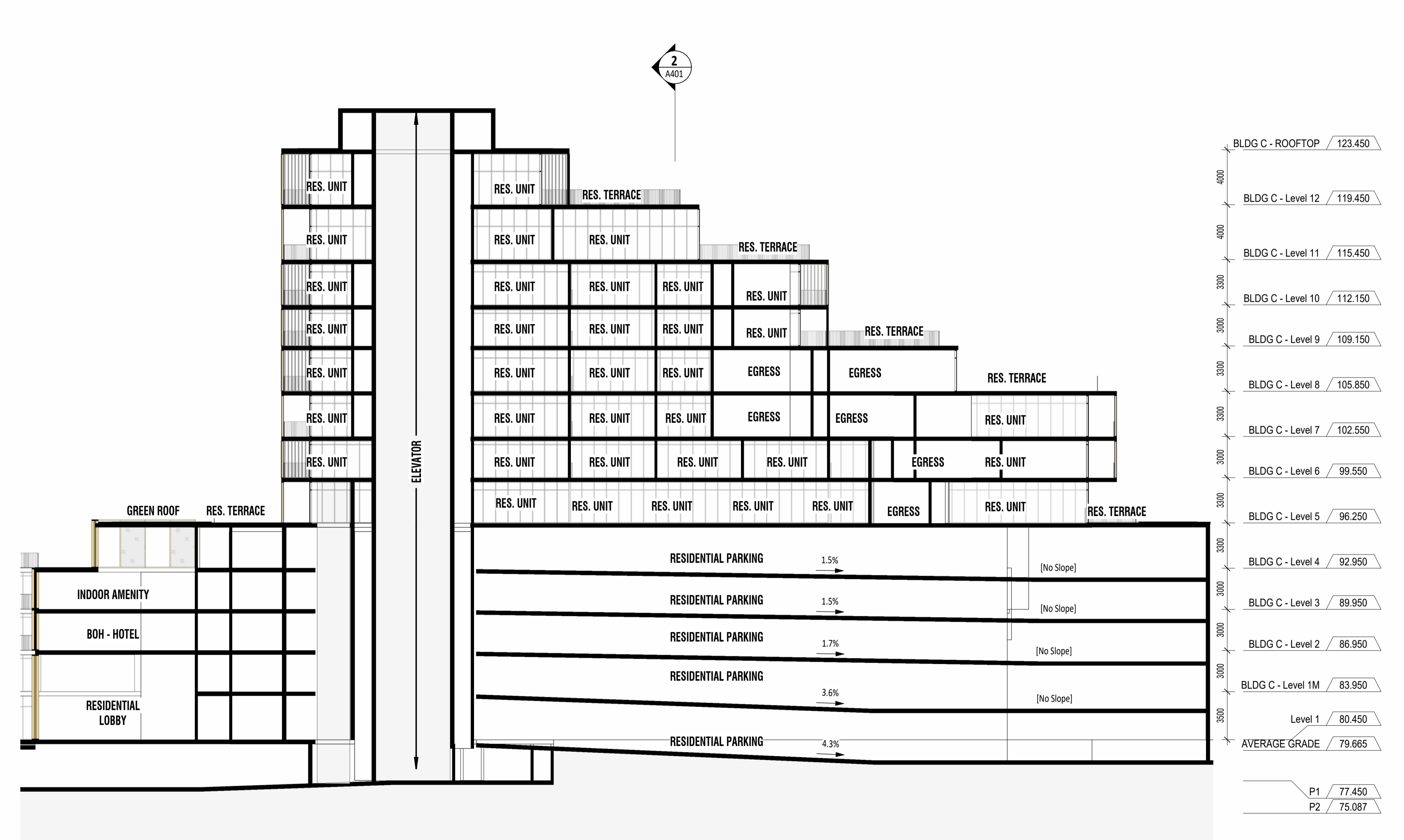
2 BUILDING B - SECTION
A400 1:200



1 BUILDING C - PARKING GARAGE - SECTION
A400 1:200



4 BUILDING A - SECTION
A400 1:200



5 BUILDING C - SECTION
A400 1:200

Rev.	Date	Issued
3	2024/09/30	RE-SUBMIT FOR 28A
2	2024/08/26	RE-SUBMIT FOR 28A
1	2024/02/17	ISSUED FOR 28A

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5G 2T9
416-915-1791

Globalzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH
Project North True North

SCALE 1:200
PROJECT NO. 202302
ISSUE DATE SEPT 27, 2024

SECTIONS

A400

Copyright in that of the Architect.
 Any version of this drawing reproduced by any means from any media without prior written approval of the Architect is to be read for information only.

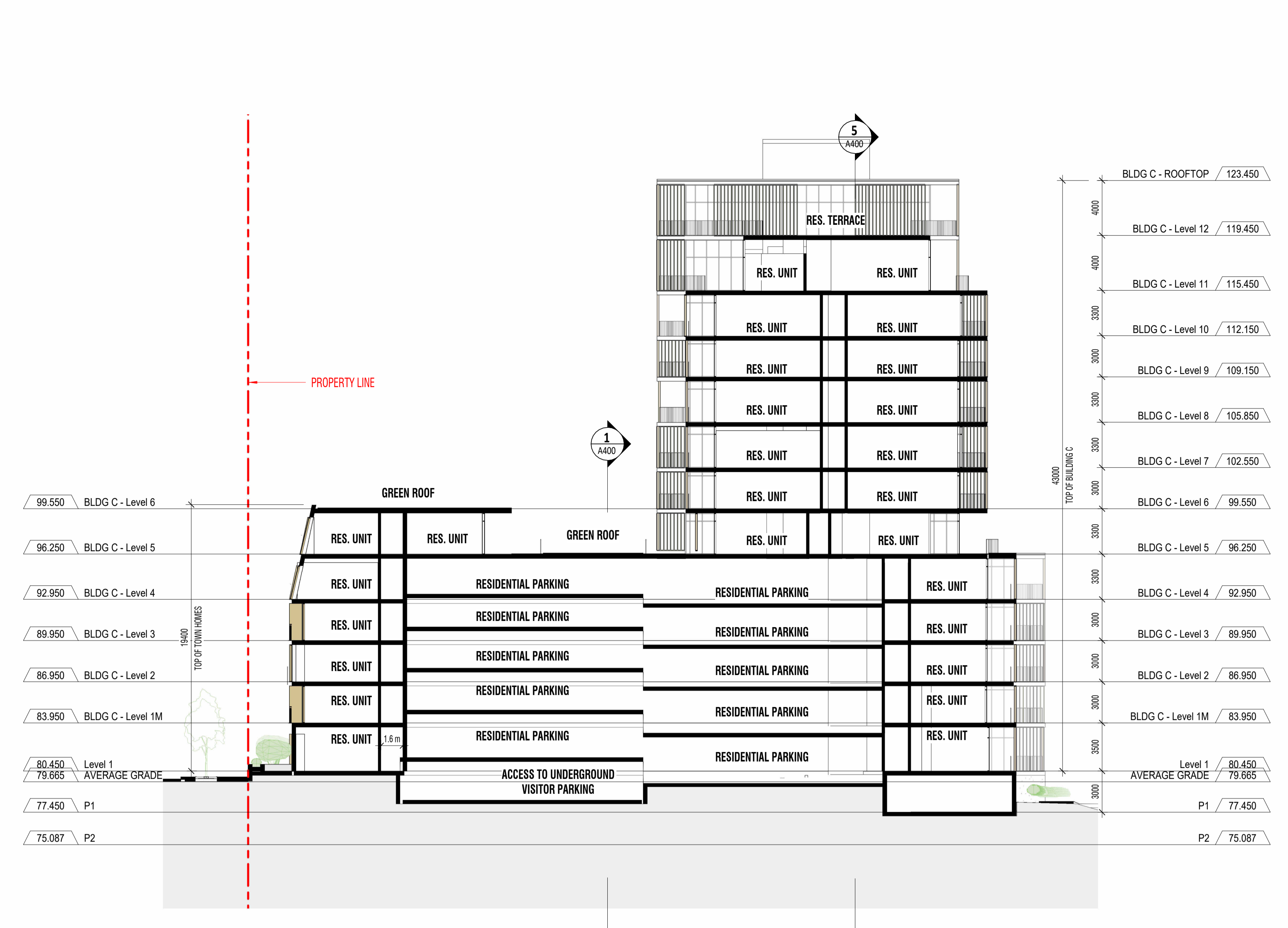
The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contractor documents with respect to the quantity, sizes or scope of work, the greater shall apply.
3. Profiles of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Location shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
4. Differences indicated on plans between the faces of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and is not responsible for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.



1 CROSS SECTION - THROUGH BUILDING A + B - COURTYARD
 A401 1:200



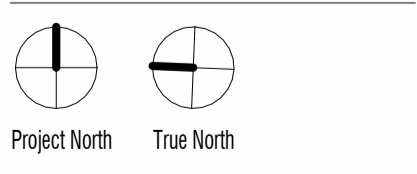
2 CROSS SECTION - THROUGH BUILDING C - TOWNS + PARKING
 A401 1:200

Rev.	Date	Issue#
3	2024/09/30	RE-ISSUED FOR 2BA
2	2024/08/26	RE-ISSUED FOR 2BA
1	2024/02/17	ISSUED FOR 2BA

gh3
 gh3*
 55 OSSINGTON AVE, SUITE 100
 Toronto, ON, Canada M5G 2T9
 416-915-1791

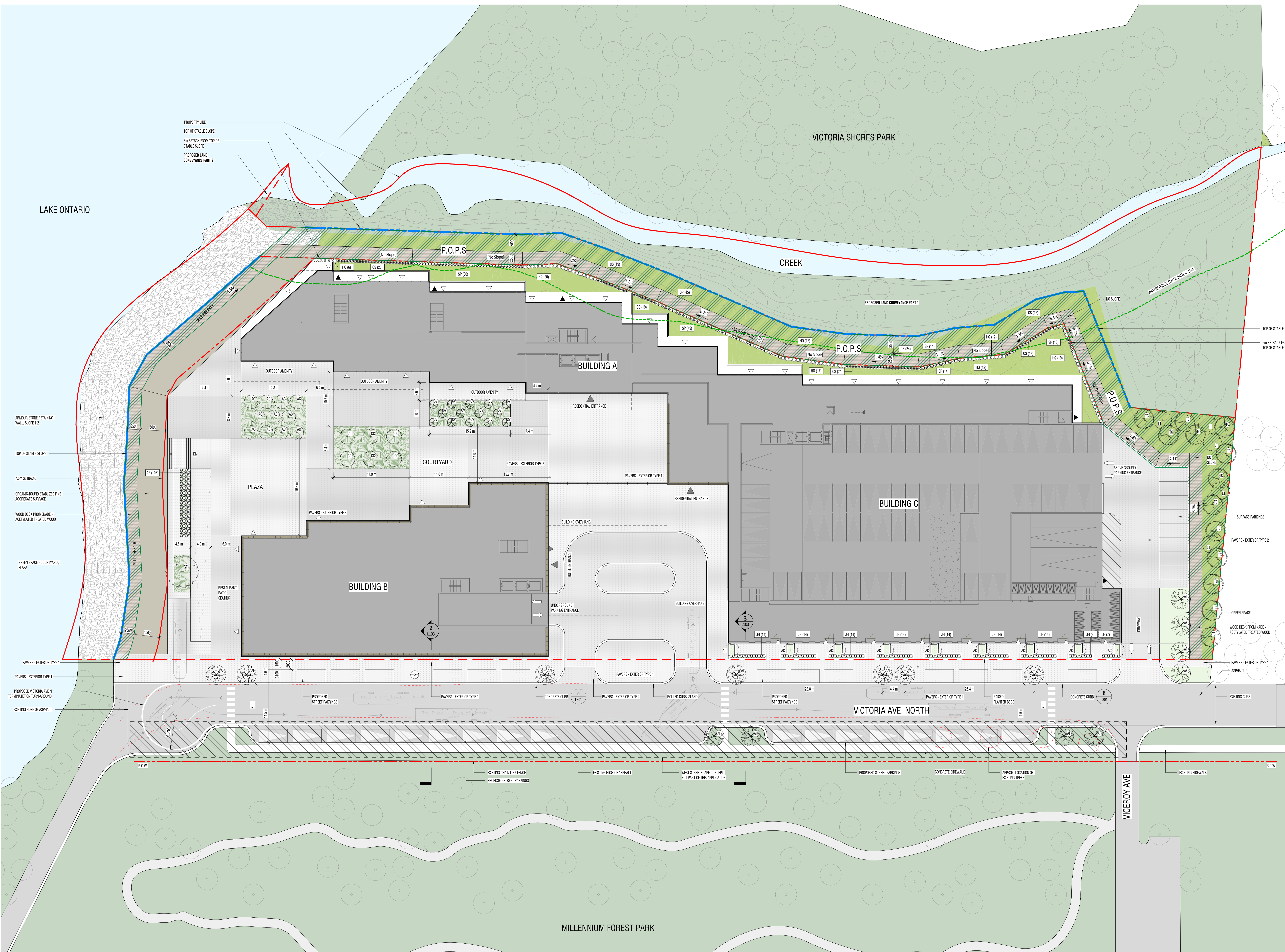
Globizen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH



SCALE 1:200
 PROJECT NO. 202302
 ISSUE DATE SEPT 27, 2024

CROSS SECTIONS



- PLANTING NOTES:**
- COORDINATE SHIPPING OF PLANTS AND EXCAVATION OF HOLES TO ENSURE MINIMUM TIME LAPSE BETWEEN DIGGING AND PLANTING. CONSULTANT TO SELECT PLANTS AT NURSERY AND REVIEW PLANTS ON DELIVERY TO SITE. PRIOR TO PLANTS BEING SET IN PLACE.
 - STAKED PLANTING LOCATIONS TO BE REVIEWED BY CONSULTANT AND CHANGED AS REQUIRED.
 - PLANTS TO BE NURSERY-GROWN, GOOD QUALITY SPECIES AND TYPE, FIRM AND CHARACTER SPECIFIED. PLANTS TO BE NO 1 GRADE IN ACCORDANCE WITH CANADIAN STANDARDS FOR NURSERY STOCK. MOST RECENT EDITION OF CANADIAN NURSERY LANDSCAPE ASSOCIATION. PLANTS TO HAVE NORMAL WELL-DEVELOPED BRANCHES, VIGOROUS PERIOD ROOT SYSTEMS, AND BE HEALTHY-FREE FROM DEFECTS. PLANTS TO BE GROWN UNDER CLIMATIC AND SOIL CONDITIONS SIMILAR TO THOSE AT THE SITE FOR AT LEAST TWO YEARS PRIOR TO ON-SITE PROJECT.
 - SPECIFY PLANTS TO BE EXCEPTIONALLY GOOD QUALITY PERTAINING TO THE SPECIES AND TYPE, FORM, CHARACTER OR HABIT OF THE PLANTS SPECIFIED.
 - CLUMP PLANTING TO HAVE A MINIMUM OF THREE STEMS EMERGING OUT OF ONE ROOT SYSTEM, WELL BRANCHED FROM THE BOTTOM UPWARDS. MAJOR CLUMPS WILL NOT BE EXCEPTED.
 - CONTAINER-GROWN PLANTS (POTS, CANES, TUBS OR BODIES) TO HAVE SUFFICIENT ROOTS TO HANDLE PLANTING TOGETHER AFTER REMOVAL OF CONTAINERS, BUT WITHOUT BEING ROOT-BOUND. CONTAINERS NOT TO BE REMOVED UNTIL PLANTS ARE READY FOR PLANTING.
 - BALLED AND BURGLAPPED AND STRUNG BALLED PLANTS TO HAVE A COMPACT NATURAL BAL OF EARTH SO FIRMLY WRAPPED BURGLAP AND TIGHTLY ROUNDED WITH HOPE THAT UPON DELIVERY, THE SOIL IN THE BALL IS STILL FIRM AND COMPACT AND NOT BE SHALL. ROOT BALLS SHALL BE SIZED TO CORRESPOND TO CANADIAN STANDARDS FOR NURSERY STOCK. ROOT BALLS SHALL INCLUDE 75% FIBROUS AND FEEDER ROOT SYSTEM.
 - CROWN PRUNING PRIOR TO PLANTING TO CAREFULLY REMOVE DEAD, BROKEN DAMAGED AND INTERFERING BRANCHES AND REMOVE ANGLE BRANCH UNLESS WHEN AND WHERE APPLICABLE. DO NOT CUT LEADER.
 - ROOT BALL: CUT AND REMOVE ALL WIRE, ROPE, BURGLAP AND TWINE FROM AROUND THE TOP 1.0 TO 1.0 OF THE ROOT BALL.
 - BACKFILL: SOIL TO BE BACKFILLED IN 150MM LAYERS AND CONCURRENTLY TAMPED AND/OR WATERED TO MINIMIZE AIR POCKETS. COMPACT LIFTS FIRMLY WITH FEET TO STABILIZE ROOTBALL.
 - WATERING: ENSURE THAT TREES ARE THOROUGHLY WATERED AT PLANTING.
 - PLANTING AREA: TREES NOT TO BE IN ROOT BALL DIAMETER. SOIL PREPARATION AREA TO BE IN ROOT BALL DIAMETER. SCARIFY SOIL PREPARATION AREA TO A DEPTH OF 800 MM.
 - PLANTING DEPTH: LOOSEN SURFACE OF PLANTING HOLE. ALL TREES TO BE PLACED SO THAT THE ROOT COLLAR IS POSITIONED 50 TO 75 MM HIGHER THAN SURROUNDING GRADE.
 - CONTRACTOR TO WARRANT PLANT MATERIAL AS ITEMIZED ON PLANT LIST FOR FULL GROWTH SEASON (1 YEAR), END OF WARRANTY INSPECTION TO BE CONDUCTED DURING WARRANTY PERIOD. REMOVE MATERIAL THAT HAS DIED OR FAILED TO PERFORM SATISFACTORILY.
 - REPLACEMENTS TO BE PLANTED IN THE NEXT PLANTING SEASON. WARRANTY PERIOD ON REPLACEMENT PLANT MATERIAL EQUAL TO ORIGINAL WARRANTY PERIOD. RE-PLACEMENTS AND WARRANTY CONTINUED UNTIL PLANT MATERIAL IS ACCEPTABLE. REPLACEMENT PLANTS TO BE TAGGED VISIBLY AND CONSULTANT TO BE NOTIFIED IN WRITING DATE REPLACEMENTS WERE MADE.
 - SOILING SYSTEM TO BE USED FOR TREES 80MM CALIPER AND GREATER.
 - IRRIGATION SYSTEM TO BE FLEXIBLE HIGH DENSITY POLYETHYLENE (HDPE) 3/4" (20-25mm) FULLY PERFORATED COMPLETE WITH THE PRESSURE-SENSITIVE FILTER SOCK, NOT PERFORATED AT PASS THROUGH TO REEFER PIPES. MANUFACTURER'S STANDARD CONNECTOR FITTINGS AND CAPS.
 - IRRIGATION AND AERATION SYSTEM TO BE IRRIGATION PIPE 50MM DIAMETER, SET ABOVE GROUND TO BE PROTECTED BY 150MM CONCRETE. ACCEPTABLE PRODUCTS: CIVICGREEN, PROOFPLAN IRRIGATION SYSTEM INCLUDING FOOTPATH PIPING, TEES, CONNECTORS AND URBAN RAILS.
 - ALL PLANTING MATERIALS: GRANULAR MATERIALS AND IMPORTED SOILS MUST BE ENVIRONMENTALLY SOUND, MEETING TREE OF CANADA (TREC) AND HAVING AN ENVIRONMENTAL QUALITY THAT MEETS THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND FOREstry STANDARDS APPLICABLE FOR RESIDENTIAL PROPERTY USE AND COARSE-TEXTURED SOIL THAT ARE LISTED IN TABLE 2 OF THE APRIL 15, 2011 SOIL, GROUND WATER AND SEDIMENT STANDARDS FOR USE UNDER PART 4 OF THE ACT DOCUMENT.
- URBAN FORESTRY TREE PLANTING NOTES:**
- THE OWNER/APPLICANT ACKNOWLEDGES AND AGREES THAT ALL TREES MUST BE MAINTAINED AS PER THE PLAN, WITH THE APPROVED SITE PLAN, LANDSCAPE PLAN, PLANTING DETAILS AND TOWN OF TORONTO STANDARD DETAILS, AND ANY OTHER PLANS WHICH ARE CONNECTED WITH THE TREE PLANTING PROCESS.
 - NO OBSTACLES TO EXISTING GRADE IS PERMITTED AT ANY TIME WITHIN ANY TPL PRIOR TO MOVING OR REMOVING ANY TPL. PERMISSION FROM URBAN FORESTRY IS REQUIRED.
- WATERING PROGRAM:**
- THE OWNER WILL OVERSEE AND EXECUTE A WATERING PROGRAM TO SUPPORT THE TREES IN THE FIRST TWO YEARS TO ENSURE THAT TREES ARE ESTABLISHED. THE WATERING PROGRAM WILL CONSIST OF FOLLOWING: A WATER DISTRIBUTION SYSTEM WITHIN THE SOIL CELLS MANUALLY FED BY WATER FROM THE BUILDING WATER SUPPLYING SYSTEM. HAND WATERING TO SUPPORT ESTABLISHMENT AND WASH AWAY SALT FROM SURFACE MANAGEMENT OPERATIONS ON THE SURROUNDING HARDSCAPE IS REQUIRED FOR ALL OTHER TREES.
 - WATERING SCHEDULE:
• 1 TO 2 WEEKS AFTER PLANTING THEY WILL BE WATERED DAILY
• 2 TO 3 WEEKS THEY WILL BE WATERED EVERY 2 TO 3 DAYS AND
• AFTER 3 WEEKS THEY WILL BE WATERED WEEKLY THROUGH THE SPRING SUMMER AND FALL SEASONS UNTIL ROOTS ARE ESTABLISHED. WATERING WILL BE APPLIED AT 1-1.5 GALLONS PER INCH OF STEM CALIPER PER IRRIGATION USING TECHNIQUES TO REACH A 50MM DEPTH OF WATER AROUND THE TREE ROOT BALL SUPPORTED BY THE PERMS SUPPLIED IN THE SOIL CELLS.

1 LANDSCAPE PLAN
L101 1:250

PLANTING - SHADE TREES (ON PROPERTY)

TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	CONDITION	NATIVE	DROUGHT TOLERANT	SALT TOLERANT
AF		ACER x FREEMANI	FREEMAN MAPLE	3	80mm CAL.	WB	•	•	
GT		GLEDITSIA TRACANTHOS	HONEY LOCUST	1	80mm CAL.	WB	•	•	
LT		JUNIPERUS HORIZONTALIS	TULIP POPLAR	5	80mm CAL.	WB	•	•	
TC		TSUGA CANADENSIS	CANADIAN HEMLOCK	13	80mm CAL.	WB	•	•	

TOTAL SHADE TREES 22

PLANTING - UNDERSTORY TREES & VINES

TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	CONDITION	NATIVE	DROUGHT TOLERANT	SALT TOLERANT
AC		AMELANCHIER CANADENSIS	SERVICEBERRY	20	200mm TL, multi-stem, 0-5'	WB	•	•	
CC		CERCIS CANADENSIS	REDBUD	6	200mm TL, multi-stem, 0-5'	WB	•	•	
CV		CLEMATIS VIRGINIANA	CLEMATIS	14	200mm TL, multi-stem, 0-5'	WB	•	•	

TOTAL UNDERSTORY TREES 40

PLANTING - SHRUBS & GROUND COVER

TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SPACING	SIZE	CONDITION	NOTES
AS		ASARUM CANADENSE	CANADA WILD GERAN	100	450mm	2 GAL.	POTTED	
CS		CORNUS SERICEA	RED-TWIG DOGWOOD	85	600mm	2 GAL.	POTTED	
HQ		HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	74	750mm	2 GAL.	POTTED	
JH		JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	114	450mm	2 GAL.	POTTED	
SP		SPIEA PRUNIFOLIA	BRIDAL WREATH SPIREA	100	600mm	2 GAL.	POTTED	

TOTAL PLANTS 489

HARDSCAPE & SOFTSCAPE MATERIAL TYPES (ON PROPERTY)

TAG	DESCRIPTION	AREA	NOTES
PA1	PAVERS - EXTERIOR TYPE 1	2424 m ²	PERMEABLE BRICK PAVERS WITH SRI ≥ 29
PA2	PAVERS - EXTERIOR TYPE 2	1084 m ²	PERMEABLE BRICK PAVERS WITH SRI ≥ 29
PA3	PAVERS - EXTERIOR TYPE 3	587 m ²	PERMEABLE BRICK PAVERS WITH SRI ≥ 29
TOTAL		4095 m²	
PT1	GREEN SPACE - COURTYARD / PLAZA	353 m ²	
PT2	GREEN SPACE	133 m ²	
TOTAL		486 m²	

HARDSCAPE & SOFTSCAPE MATERIAL TYPES (R.O.W.)

TAG	DESCRIPTION	AREA	NOTES
AS	ASPHALT	2442 m ²	
C1	CONCRETE SIDEWALK	453 m ²	
PA1	PAVERS - EXTERIOR TYPE 1	1030 m ²	PERMEABLE BRICK PAVERS WITH SRI ≥ 29
PA2	PAVERS - EXTERIOR TYPE 2	59 m ²	PERMEABLE BRICK PAVERS WITH SRI ≥ 29
TOTAL		4089 m²	

PLANTING - SHADE TREES (R.O.W.)

TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	CONDITION	NATIVE	DROUGHT TOLERANT	SALT TOLERANT
AF		ACER x FREEMANI	FREEMAN MAPLE	12	80mm CAL.	WB	•	•	

TOTAL 12

GENERAL NOTES:

- A TREE WATERING AND MAINTENANCE PROGRAM IS TO BE PROVIDED FOR A MINIMUM OF FOUR (4) YEARS AFTER PLANTING.
- LANDSCAPING WILL BE IRRIGATED USING NON-POTABLE WATER. PASTURE AND ACTIVE IRRIGATION IS TO BE PROVIDED FOR ALL TREES. GREYWATER TO BE USED.
- SOIL IS RETAINED ON-SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY.
- SOIL FOR ALL TREE PLANTING TO BE A SANDILY LOAM TEXTURE PROFILE (50-80% SAND, 20-40% SILT, 8-10% CLAY, 2-5% ORGANIC MATTER BY DRY WEIGHT) WITH A MAXIMUM PH OF 7.5.
- ALL GROUND LEVEL GRATES WILL HAVE A POROSITY OF 20mm X 20mm OR 10mm X 40mm.

SCALE: As indicated
PROJECT NO.: 202302
ISSUE DATE: SEPT 27, 2024

LANDSCAPE PLAN

L101

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416 915 1791

Globalzen
PROJECT BENCH

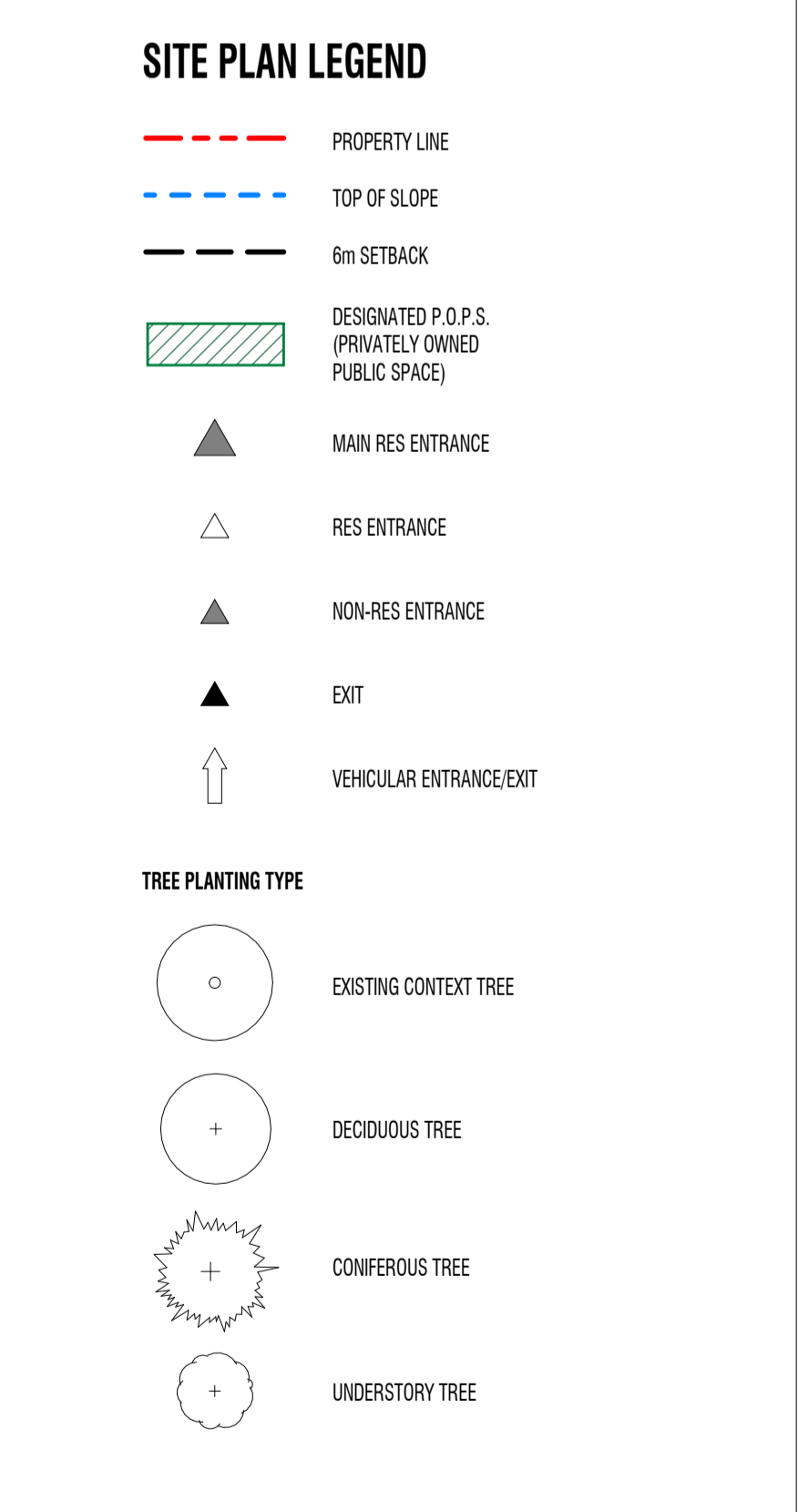
4933 VICTORIA AVENUE NORTH
Project North True North



- PLANTING NOTES:**
1. COORDINATE SHIPPING OF PLANTS AND EXCAVATION OF HOLES TO ENSURE MINIMUM TIME LAPSE BETWEEN DIGGING AND PLANTING. CONSULTANT TO SELECT PLANTS AT NURSERY AND REVIEW PLANTS ON DELIVERY TO SITE, PRIOR TO PLANTS BEING SET IN PLACE.
 2. STAKED PLANTING LOCATIONS TO BE REVIEWED BY CONSULTANT AND CHANGED AS REQUIRED.
 3. PLANTS TO BE NURSERY-GROWN, GOOD QUALITY SPECIES AND TYPE, FIRM AND CHARACTER SPECIFIED. PLANTS TO BE NO 1 GRADE IN ACCORDANCE WITH CANADIAN STANDARDS FOR NURSERY STOCK. MOSTRecent Edition OF CANADIAN NURSERY LANDSCAPE ASSOCIATION. PLANTS TO HAVE NORMAL WELL-DEVELOPED BRANCHES, HEAVYWOOD PERIOD ROOT SYSTEMS, AND BE HEALTHY-FREE FROM DEFECTS. PLANTS TO BE GROWN UNDER CLIMATIC AND SOIL CONDITIONS SIMILAR TO THOSE AT THE SITE FOR AT LEAST TWO YEARS PRIOR TO USE ON THIS PROJECT.
 4. SPECIFY PLANTS TO BE EXCEPTIONALLY GOOD QUALITY PERTAINING TO THE SPECIES AND TYPE, FORM, CHARACTER OR HABIT OF THE PLANTS SPECIFIED.
 5. CLUMP PLANTING TO HAVE A MINIMUM OF THREE STEMS ARISING OUT OF ONE ROOT SYSTEM, WELL BRANCHED FROM THE BOTTOM UPWARDS. MAJOR CLUMPS WILL NOT BE EXCEPTED.
 6. CONTAINER-GROWN PLANTS, CUTS, CUTS, OR CUTS TO HAVE SUFFICIENT ROOTS TO HOLD THEM TOGETHER AFTER REMOVAL OF CONTAINERS, BUT WITHOUT BEING ROOT-BOUND. CONTAINERS NOT TO BE REMOVED UNTIL PLANTS ARE READY FOR PLANTING.
 7. BALLED AND BURLAPPED AND STRUNG BALLED PLANTS TO HAVE A COMPACT NATURAL BALL OF EARTH SO FIRMLY WRAPPED BURLAP AND TIGHTLY BOUND WITH ROPE THAT UPON DELIVERY, THE SOIL IN THE BALL IS STILL FIRM AND COMPACT AND NOT BE SHALL. ROOTING ROOTS SHALL BE TO CONFORM TO CANADIAN STANDARDS FOR NURSERY STOCK. ROOT BALLS SHALL INCLUDE 75% OF FIBROUS AND FEEDER ROOT SYSTEM.
 8. CROWN PRUNING PRIOR TO PLANTING TO CAREFULLY REMOVE DEAD, BROKEN DAMAGED AND INTERFERING BRANCHES AND REMOVE WHOLE BRANCH UNLESS WHEN AND WHERE APPLICABLE, DO NOT CUT LEADER.
 9. ROOT BALL: CUT AND REMOVE ALL WIRE, ROPE, BURLAP AND TWINE FROM AROUND THE TOP 1.0 TO 1.0 OF THE ROOT BALL.
 10. BACKFILL SOIL TO BE BACKFILLED IN 150 MM LAYERS AND CONCURRENTLY TAMPED AND WATERED TO STABILIZE AND PROTECTS. COMPACT LIFTS FIRMLY WITH FEET TO STABILIZE ROOTBALL.
 11. WATERING: ENSURE THAT TREES ARE THOROUGHLY WATERED AT PLANTING.
 12. PLANTING AREA: TREES NOT TO BE IN ROOT BALL DIAMETER. SOIL PREPARATION AREA TO BE IN ROOT BALL DIAMETER. SCARIFY SOIL PREPARATION AREA TO A DEPTH OF 800 MM.
 13. PLANTING DEPTH: LOOSEN SURFACE OF PLANTING HOLE. ALL TREES TO BE PLACED SO THAT THE ROOT COLLAR IS POSITIONED 10 TO 15 MM HIGHER THAN SURROUNDING GRADE.
 14. CONTRACTOR TO WARRANT PLANT MATERIAL, AS LISTED ON PLANT LIST FOR FULL GROWTH SEASON (1 YEAR), END OF WARRANTY PERIOD TO BE CONDUCTED DURING WARRANTY PERIOD. REMOVE MATERIAL THAT HAS DIED OR FAILED TO PERFORM SATISFACTORILY.
 15. REPLACEMENTS TO BE PLANTED IN THE NEXT PLANTING SEASON. WARRANTY PERIOD ON REPLACEMENT PLANT MATERIAL, EQUAL TO ORIGINAL WARRANTY PERIOD. REPLACEMENTS AND WARRANTY CONTINUED UNTIL PLANT MATERIAL IS ACCEPTABLE. REPLACEMENT PLANTS TO BE TAGGED VISIBLY AND CONSULTANT TO BE NOTIFIED IN WRITING DATE REPLACEMENTS WERE MADE.
 16. GROUND SYSTEM TO BE USED FOR TREES 30MM CALIPER AND GREATER.
 17. ORANGE PIPES TO BE FLEXIBLE HIGH DENSITY POLYETHYLENE (HDPE), BING 300x120x20. FULLY PERFORATED COMPLETE WITH THE PIPES. GEOTEXTILE FILTER SOCK, NOT PERFORATED AT PIPES THROUGH TO REEF PIPES. MANUFACTURER'S STANDARD CONNECTOR FITTINGS AND CAPS.
 18. IRRIGATION AND AERATION SYSTEM TO BE IRRIGATION PIPE 50MM DIAMETER, 8 FT ABOVE SHOULDER TO ROOT BALL AND CONNECTED TO THE PIPES. ACCEPTABLE PRODUCTS: OXYGENEER, ROOTPLAN IRRIGATION SYSTEM INCLUDING FOOTPRINT PIPING, TEES, CONNECTORS AND URBAN RILES.
 19. ALL PLANTING MATERIALS, GRANULAR MATERIALS, AND IMPORTED SOILS MUST BE ENVIRONMENTALLY SOUND, MEETING THE BEST PRACTICES AND HAVING AN ENVIRONMENTAL QUALITY THAT MEETS THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND FORESTRY STANDARDS APPLICABLE FOR RESIDENTIAL PROPERTY USE AND COARSE-TEXTURED SOIL THAT ARE LISTED IN TABLE 2 OF THE APRIL 15, 2011 SOIL GROUND WATER AND SEDIMENT STANDARDS FOR USE UNDER PART IV OF THE ACT DOCUMENT.

- URBAN FORESTRY TREE PLANTING NOTES:**
1. THE OWNER, APPLICANT, ARCHITECTS AND AGREES THAT ALL TREES MUST BE PLANTED AS PER THE PLANS WITH THE APPROVED SITE PLAN, LANDSCAPE PLAN, PLANTING DETAILS AND TORONTO STANDARD DETAILS, AND ANY OTHER PLANS WHICH ARE CONNECTED WITH THE TREE PLANTING PROCESS.
 2. NO OBTURANCE TO EXISTING GRADE IS PERMITTED AT ANY TIME WITHIN ANY TPL, PRIOR TO MOVING OR REMOVING ANY TPL. PERMISSION FROM URBAN FORESTRY IS REQUIRED.

- WATERING PROGRAM:**
1. THE OWNER WILL OVERSEE AND EXECUTE A WATERING PROGRAM TO SUPPORT THE TREES IN THE FIRST TWO YEARS TO ENSURE THAT TREES ARE ESTABLISHED. THE WATERING PROGRAM WILL CONSIST OF FOLLOWING: A WATER DISTRIBUTION SYSTEM WITHIN THE SOIL CELLS, MANUALLY FED BY WATER FROM THE BUILDING WATERWORKS; B. HAND WATERING TO SUPPORT ESTABLISHMENT AND WASH AWAY SALT FROM SURFACE MANAGEMENT OPERATIONS ON THE SURROUNDING HARDSCAPE IS REQUIRED FOR ALL OTHER TREES.
 2. WATERING SCHEDULE:
 - 1 TO 2 WEEKS AFTER PLANTING THEY WILL BE WATERED DAILY
 - 2 TO 3 WEEKS THEY WILL BE WATERED EVERY 2 TO 3 DAYS AND
 - AFTER 3 WEEKS THEY WILL BE WATERED WEEKLY THROUGH THE SPRING SUMMER AND FALL SEASONS UNTIL ROOTS ARE ESTABLISHED. WATERING WILL BE APPROVED 1:1.5
 - CALLINGS PER INCH OF STEM CALIPER PER IRRIGATION USING TECHNIQUES TO CHECK A SLOW WICK THROUGH WATER AROUND THE TREE ROOT BALL SUPPORTED BY THE PIPING SUPPLIED IN THE SOIL CELLS.



1 GREENROOF PLAN
L102 1:250

GREEN ROOF MATERIAL TYPES

TAG	DESCRIPTION	AREA	%	SOIL VOLUME	AVG. SOIL DEPTH	PRODUCT	POLLINATOR SPECIES
BR	BALLAST ROOF	714 m²	8%	107.14 m³	150 mm		
GR	GREEN ROOF - MEADOW / PERENNIAL GRASSES	3407 m²	41%	511.05 m³	150 mm	BIOGROF ECO-EYSTEM GR. ED.	
PD	PATIO DECK	4212 m²	51%	210.60 m³	50 mm		
TOTAL		8334 m²	100%	828.84 m³			

GREEN ROOF PLANTS (NATIVE POLLINATORS)

ASTER LAEVIS	SMOOTH ASTER
CAMPANULA ROTUNDFOLIA	BELLFLOWER
GEUM TRIFLORUM	PRAIRIE SMOKE
DESCHAMPSIA CEPITOSA	TUFTED HAIR GRASS
VERBENA SIMPLEX	SLENDER VERVAIN
MONARDA FISTULOSA	WILD BERGAMOT
PANICUM VIRGATUM	SWITCH GRASS
ECINACEA PALLIDA	PALE PURPLE CONEFLOWER
SHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
CAREX PENNSYLVANICA	SEDE

gh3
gh3*
55 OSSINGTON AVE, SUITE 100
Toronto, ON, Canada M5J 2Y9
416 915 1791

Globalzen
PROJECT BENCH

4933 VICTORIA AVENUE NORTH

SCALE: As indicated
PROJECT NO: 202302
ISSUE DATE: SEPT 27, 2024

GREENROOF PLAN