

# APPLICATION FOR ZONING BY-LAW AMENDMENT

# **PROJECT TEAM**

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ENVIRONMENTAL IMPACT / TPP GEI CONSULTANTS – MARKHAM BRANCH T: 1-800-810-3281 https://canada.geiconsultants.com

STATS DIAGRAM

LAN ) FLOOR - SITE PLAN

Floor Ne level

ARD ELEVATIONS

ECTIONS

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\_\_\_\_\_ **PROJECT BENCH** 

4933 VICTORIA AVENUE NORTH \_\_\_\_\_

Project North True North

ISSUE DATE SEPT 27, 2024

**COVER SHEET** 

SCALE PROJECT NO. 202302

\_\_\_\_\_

A000

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1.0 SUMMARY

#### <u>19.348.3 m²</u> TOTAL SITE AREA NET SITE AREA <u>16,299.1 m²</u> LAND CONVEYANCE PART 1 3.035.7 m<sup>2</sup> LAND CONVEYANCE PART 2 <u>13.5 m<sup>2</sup></u>

TOTAL GFA - 41,314 m<sup>2</sup> **FSI** - 2.52

DESIGNATED P.O.P.S. - 1,817m<sup>2</sup>

1.1 BUILDING AREA SUMMARY.				*EXCLUDING ANY PARKING AREAS OR LOADING ARE
Total Non-Resider	ntial GFA (m²)	Residential GFA (m²)	TOTAL GFA (m²)	
				7
12,25	2	29,127	41,314	
12,25	2	29,127	41,314	_
1.	2 PARKING SUMI	MARY		*EXCLUDING ANY PARKING AREAS OR LOADING AREA
RESIDENTIAL	COMMERCIA	Total On-Site		
381	229	610		

### 3.0 FLOOR AREA

	5.1 UNU3	S FLUUN ANEA -	BELUW GRAL	DE NON-PARKING	
					TOTAL GFA (m²)
P2					706
P2 P1					
					1,655
					2,361
		3.1 GROSS FLO	OR AREA - BU	ILDING A	
	Total	Non-Residential	GFA	Residential GFA (m <sup>2</sup> )	TOTAL GFA (m²)
	Retail GFA (r	n²) Hote	el GFA (m²)		
Level 1	0		0	1,624	1,624
Level 1M	0		0	898	898
Level 2	0		0	1,697	1,697
Level 3	0		0	1,749	1,749
Level 4	0		0	1,213	1,213
Level 5	0		0	1,300	1,300
Level 6	0		0	1,127	1,127
Level 7	0		0	942	960
Level 8	0		0	960	960
Level 9	0		0	807	807
Level 10	0		0	664	664
Level 11	0		0	665	665
Level 12	0		0	452	452
Level 13	0		0	263	263
	0		0	14,361	14,379
		3.1 GROSS FLO	OR AREA - RII	II DING R	
		Non-Residential		Residential GFA (m <sup>2</sup> )	TOTAL GFA (m²)
	Retail GFA (r	n²) Hote	el GFA (m²)		
aval 4	1.005		000	0	4 504
Level 1	1,325		209	0	1,534
Level 2	280		1,174	0	1,454
Level 3	751		523	0	1,274
Level 4	777		54	0	831
Level 5	0		654	0	654
Level 6	0		666	0	666
Level 7	0		678	0	678
Level 8	0		689	0	689
Level 9	0		689	0	689
Level 10	0		710	0	710
Level 11	0		723	0	723
Level 12	0		710	0	710
Level 13	282		81	0	362
	3,415		7,560	0	10,975
		3.1 GROSS FLO	DR AREA - BU	ILDING C	
	Total	Non-Residential	GEA	Residential GFA (m <sup>2</sup> )	TOTAL GFA (m²)
	Retail GFA (r		el GFA (m²)		
			// di // (iii )		
Level 1	0		0	1,401	1,401
Level 1M	0		0	1,336	1,336
Level 2	0		0	1,313	1,313
Level 3	0		0	1,344	1,344
Level 4	0		0	1,326	1,326
Level 5	0		0	2,241	2,276
Level 6	0		0	867	882
Level 7	0		0	860	876
Level 8	0		0	766	780
Level 9	0		0	594	624
Level 10	0		0	574	574
Level 11	0		0	377	377
Level 12	0		0	264	264
	0	I	0	13,262	13,372
	_	<b></b>		-	
GRAND TOTAL		Non-Residential		Residential GFA (m <sup>2</sup> )	Total GFA (m²)
	Retail GFA (r	n²) Hote	I GFA (m²)		
	3,415		7,819	29,127	41,314
			1		
3.2 AREA	EXCLUDED FROM G	iFA			
3.2 AREA	EXCLUDED FROM G	FA Parking Area			

	Loading Area	Parking Area
	(m <sup>2</sup> )	(m <sup>2</sup> )
		1
P2	0	0
P1	0	6,469
Level 1	250	2,100
Level 1M	0	2,144
Level 2	0	2,397
Level 3	0	2,398
Level 4	0	2,399
Level 5	0	0
Level 6	0	0
Level 7	0	0
Level 8	0	0
Level 9	0	0
Level 10	0	0
Level 11	0	0
Level 12	0	0
Level 13	0	0
Building A - Rooftop	0	0
GRAND TOTAL	250	17,908

### 2.0 BUILDING HEIGHTS

Building A: 46 m (13 Storeys) Building B: 45.5 m (13 Storeys) Building C: 43 m (12 Storeys) Building C TOWN: 19.4 m (5 Storeys)

COVERAGE

BUILDING COVERAGE 8487m<sup>2</sup> **PERCENTAGE OF NET SITE AREA** <u>52.1%</u>

REAS WITHIN THE BUILDING OR STRUCTURE.

REAS WITHIN THE BUILDING OR STRUCTURE.

### TOTAL GFA =

\*WITH REFERENCE TO THE TOWN OF LINCOLN COMPREHENSIVE ZONING BY-LAW NO.2022-50, SECTION 2.110:

THE TOTAL FLOOR AREA OF ALL STOREYS OF A BUILDING OR STRUCTURE, INCLUDING THE FLOOR ARE OF ANY BASEMENT, WHICH FLOOR AREAS ARE MEASURED BETWEEN THE EXTERIOR FACES OF THE EXTERIOR WALLS OF A BUILDING AT EACH FLOOR LEVEL, BUT EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

NOTWITHSTANDING SECTION 2.110, FOR THE PURPOSE OF THIS BY-LAW, IN ADDITION TO THE EXCLUSION OF PARKING AREAS AND LOADING AREAS, GROSS FLOOR AREA SHALL NOT INCLUDE MECHANICAL OR BACK-OF-HOUSE AREAS WITH RESPECT TO CALCULATIONS OF PARKING REQUIREMENTS FOR USES.

(a) FURTHERMORE, FOR THE PURPOSE OF THIS BY-LAW, MECHANICAL OR BACK-OF-HOUSE AREAS SHALL BE DEEMED TO E AREAS SUPPORTIVE AND/OR ACCESSORY TO THE PRIMARY USE, NOT INTENDED FOR PUBLIC ACCESS. THIS MAY INCLUDE, BUT NOT LIMITED TO, AREAS USED FOR PREPARATION OF GOODS, PERSONAL NEEDS OF STAFF, STORAGE, EQUIPMENT AND/OR MAINTENANCE.

ALL INTERIOR FLOOR AREAS ABOVE GRADE INCL. CORES/CORRIDORS/VERTICAL SHAFTS EXCL. PARKING / LOADING EXCL. BALCONIES EXCL. ROOF TERRACE / OUTDOOR AMENITY

### TOTAL NON-RESIDENTIAL GFA =RETAIL GFA + HOTEL GFA

RETAIL GFA =

**RESTAURANT & KITCHEN** RESTAURANT (CAFE) GROCER (RETAIL) SPA + BÒH RESTAURANT (BAR) - "SKY BAR" + BOH RESTAURANT (BAR) - "LOBBY BAR" COMMON LOBBY

### HOTEL GFA =

ALL INTERIOR HOTEL FLOOR AREAS EVENT SPACE ALL HOTEL BOH

4.0 UNITS

	LEVEL
_	
	Level 1
	Level 2
	Level 3
	Level 4
	Level 5
	Level 6
	Level 7
	Level 8
	Level 9
	Level 10
	Level 11
	Level 12
	Level 13
1	TOTAL RESIDENTI

UNITS

LEVEL
Level 1
Level 2
Level 3
Level 4
Level 5
Level 6
Level 7
Level 8
Level 9
Level 10
Level 11
Level 12

TOTAL RESIDENTIAI UNITS

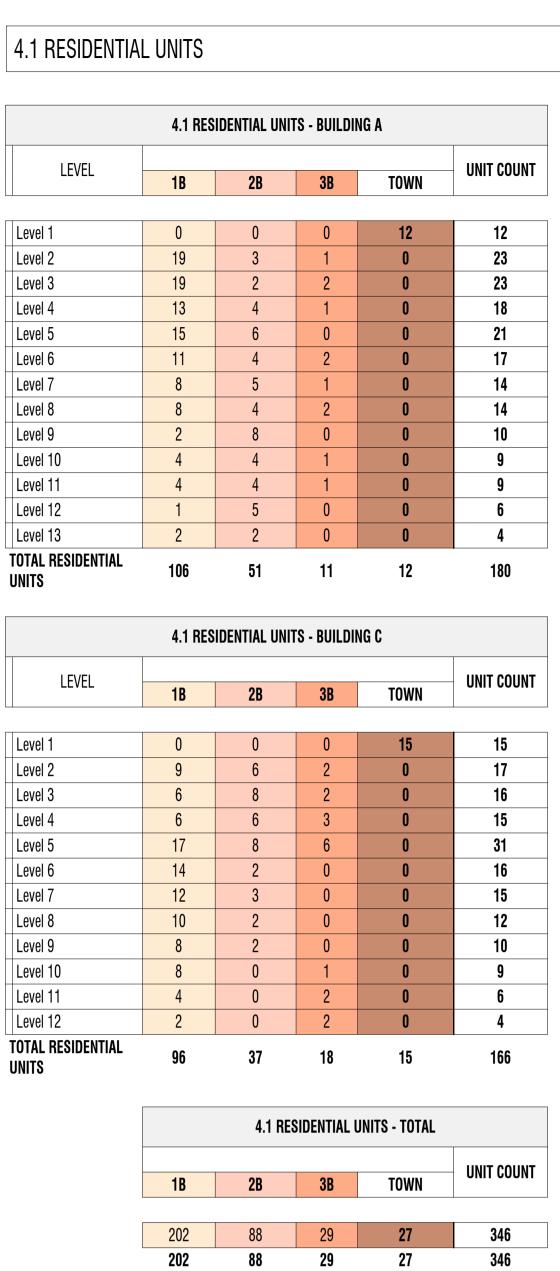
### 5.0 AMENITY

AMENITY OUTDOOR 9592 m<sup>2</sup> 1137 m<sup>2</sup> 10729 m<sup>2</sup>

6.0 PARKING

Level	RESIDENTIAL	COMMERCIAL	TOTAL ON-SITE PARKING	STREET	TOTAL CAR Parking
Level	RESIDENTIAL	COMMERCIAL	FANKING	JINEEI	FANKING
BLDG C - Level 4	116	0	116	0	116
BLDG C - Level 3	117	0	117	0	117
BLDG C - Level 2	62	0	62	0	62
BLDG C - Level 1M	22	0	22	0	22
Level 1	64	41	105	14	119
P1	0	188	188	0	188
TOTAL	381	229	610	14	624
<u> </u>	W/ 10 ACCESSIBLE	w/ 7 ACCESSIBLE	J		
	PARKING SPOTS	PARKING SPOTS	4		

7.0 LOADING						
7.1 LOADING						
Level	Count	Туре				
Level 1	1	TYPE 'G' LOADING				
Level 1	1	TYPE 'C' LOADING				
Level 1	1	TYPE 'B' LOADING				



### 4.2 NON-RESIDENTIAL UNITS

4.2 HOTEL SUITES								
LEVEL	NEW HOTEL SUITES							
	SINGLE SUITE	DOUBLE SUITE	UNIT COUNT					
Level 1	0	0	0					
Level 2	0	0	0					
Level 3	0	0	0					
Level 4	0	0	0					
Level 5	8	5	13					
Level 6	8	5	13					
Level 7	8	5	13					
Level 8	8	5	13					
Level 9	8	5	13					
Level 10	8	3	11					
Level 11	8	5	13					
Level 12	5	6	11					
Level 13	0	0	0					
Building A - Rooftop	0	0	0					
TOTAL HOTEL SUITES	61	39	100					

4.2 COM	MERCIAL SPACES	
Name	Level	ARE
RESTAURANT	Level 1	654 m <sup>2</sup>
RESTAURANT (BAR) - "LOBBY-BAR"	Level 1	122 m <sup>2</sup>
RESTAURANT (CAFE)	Level 1	104 m <sup>2</sup>
RETAIL	Level 1	189 m <sup>2</sup>
EVENT	Level 2	800 m <sup>2</sup>
SPA	Level 4	777 m <sup>2</sup>
RESTAURANT (BAR) - "SKY BAR"	Level 13	130 m <sup>2</sup>
		2777 m <sup>2</sup>
TOTAL COMMERCIAL UNIT AREA		2777 m <sup>2</sup>

4.2 BACK-OF-HOUSE / MECHANICAL				
Name	Level	AREA		
BOH - HOTEL	<varies></varies>	897 m <sup>2</sup>		
BOH - KITCHEN	Level 1	255 m <sup>2</sup>		
		200 111		

Level 3

Level 13

569 m<sup>2</sup>

152 m<sup>2</sup>

2055 m<sup>2</sup>

2055 m<sup>2</sup>

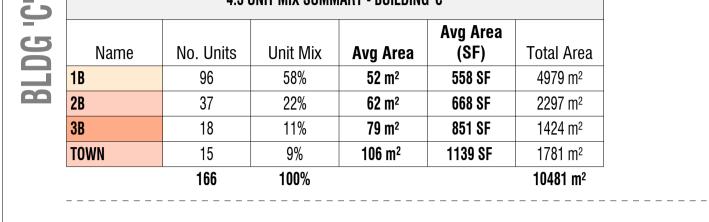
TOTAL COMMERCIAL BOH/MECHANICAL AREA

BOH -RESTAURANT (BAR) - "SKY BAR"

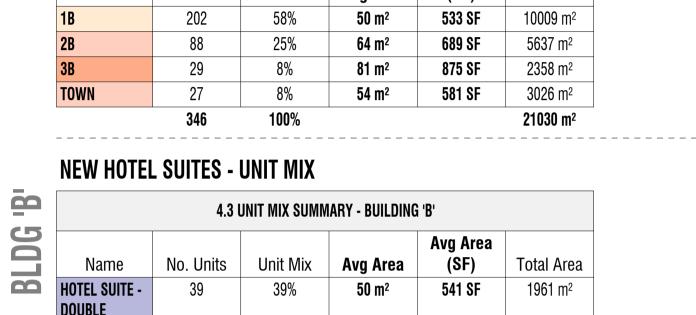
**BOH - SPA MECHANICAL** 

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5.1 AMENITY	
Y	
INDOOR	TOTAL AREA
1107 2	10700 2

OUTDOOR AMENITY INCLUDES PRIVATE BALCONIES AND TERRACES

	6.2 BICY	CLE PARKING	
	Bicycle	Parking	TOTAL BICYCLE
Level	Long-Term	Short-Term	PARKING
Level 1	150	0	150
TOTAL	150	0	150

8.0 WAST	E		
	8.1	WASTE STORAGE AREA	
Area Type	Level	Name	Area
	P1	RES. WASTE	171 m <sup>2</sup>
	P1	RES. WASTE	259 m <sup>2</sup>
	P2	NON-RES. WASTE	64 m <sup>2</sup>
			494 m <sup>2</sup>

	Bicycle	TOTAL BICY	
Level	Long-Term	Short-Term	PARKING
	150	0	150
	150	0	150

4.3 UNIT MIX

### **NEW RESIDENTIAL - UNIT MIX**

	4.3 <b>l</b>	JNIT MIX SUMM	IARY - BUILDING	G 'A'	
Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
В	106	59%	47 m <sup>2</sup>	511 SF	5030 m <sup>2</sup>
В	51	28%	65 m²	705 SF	3339 m²
В	11	6%	85 m²	915 SF	935 m²
OWN	12	7%	103 m <sup>2</sup>	1106 SF	1245 m <sup>2</sup>
	180	100%	1		10549 m <sup>2</sup>

### 4.3 UNIT MIX SUMMARY - BUILDING 'C'

me	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
	96	58%	52 m <sup>2</sup>	558 SF	4979 m <sup>2</sup>
	37	22%	62 m <sup>2</sup>	668 SF	2297 m <sup>2</sup>
	18	11%	79 m <sup>2</sup>	851 SF	1424 m <sup>2</sup>
	15	9%	106 m <sup>2</sup>	1139 SF	1781 m <sup>2</sup>
	166	100%			10481 m <sup>2</sup>

### **TOTAL RESIDENTIAL - UNIT MIX**

	4.3 TOT	AL RESIDENTIA	L UNIT MIX SUM	IMARY	
Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
	202	58%	50 m <sup>2</sup>	533 SF	10009 m <sup>2</sup>
	88	25%	64 m <sup>2</sup>	689 SF	5637 m <sup>2</sup>
	29	8%	81 m <sup>2</sup>	875 SF	2358 m <sup>2</sup>
WN	27	8%	54 m²	581 SF	3026 m <sup>2</sup>
	346	100%			21030 m <sup>2</sup>

### **NEW HOTEL SUITES - UNIT MIX**

	4.3 l	JNIT MIX SUMN	IARY - BUILDING	i 'B'	
Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
HOTEL SUITE - Double	39	39%	50 m <sup>2</sup>	541 SF	1961 m <sup>2</sup>
HOTEL SUITE - Single	61	61%	41 m²	438 SF	2482 m <sup>2</sup>
	100	100%			4443 m <sup>2</sup>

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Globizen **PROJECT BENCH** 

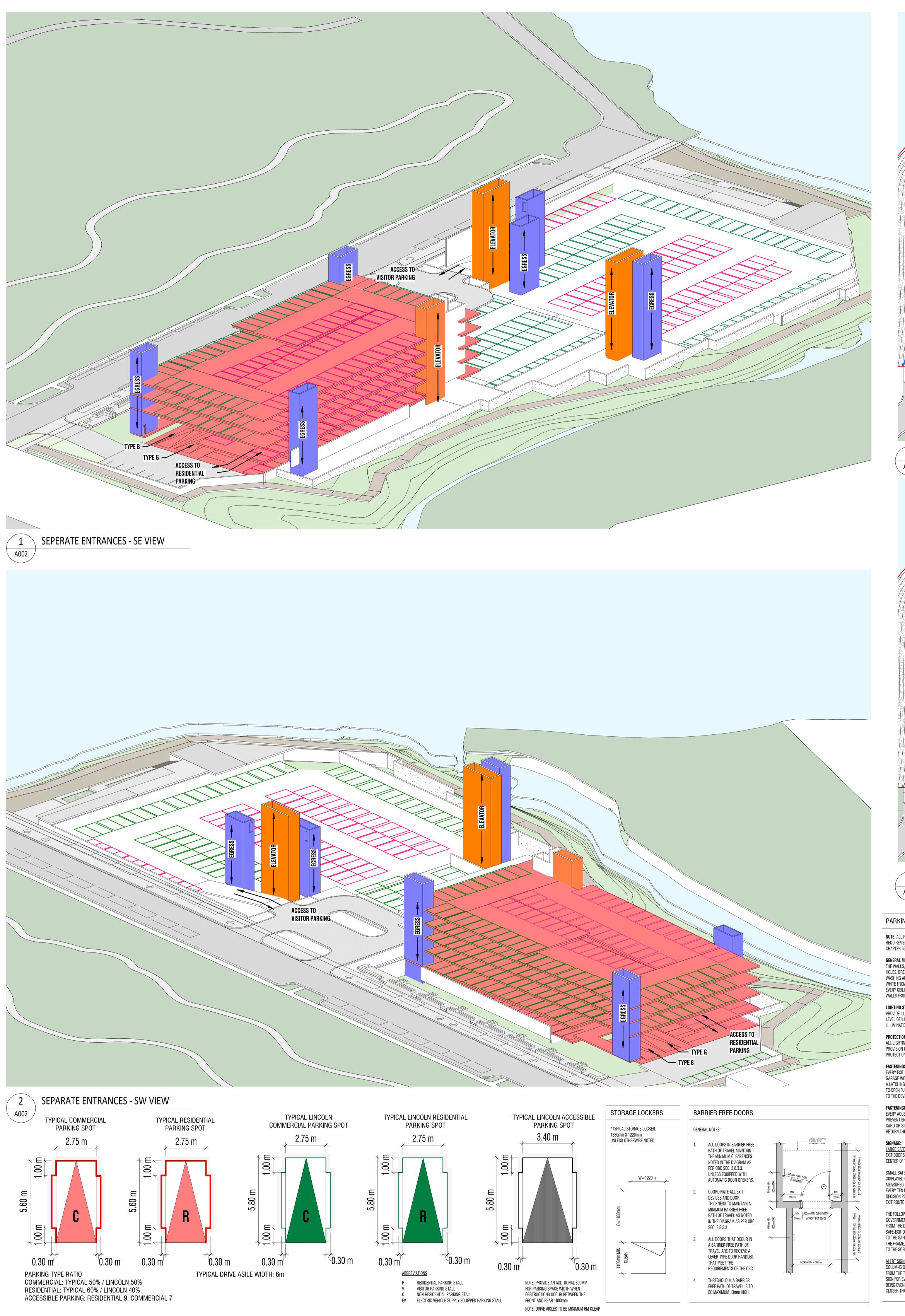
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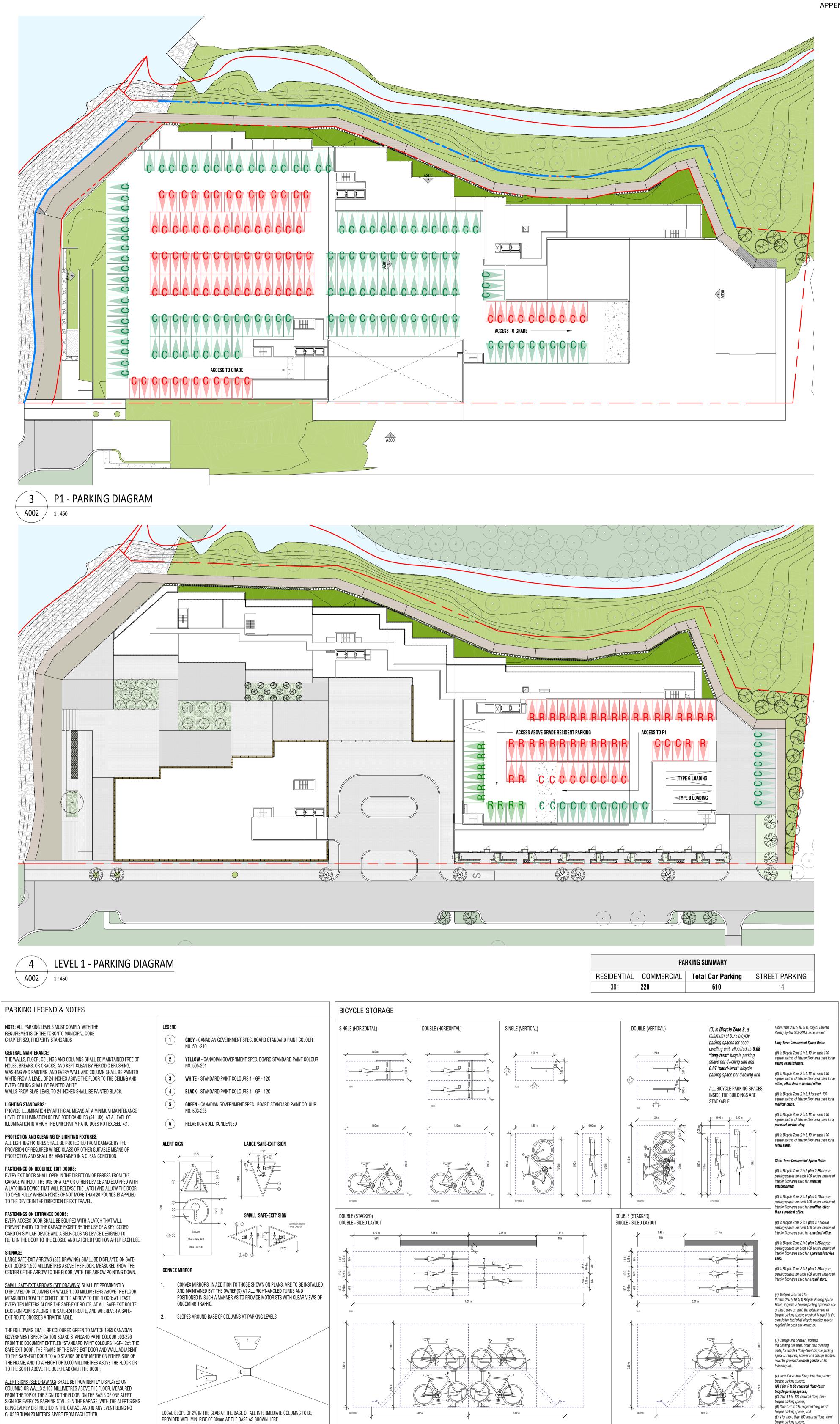
4933 VICTORIA AVENUE NORTH

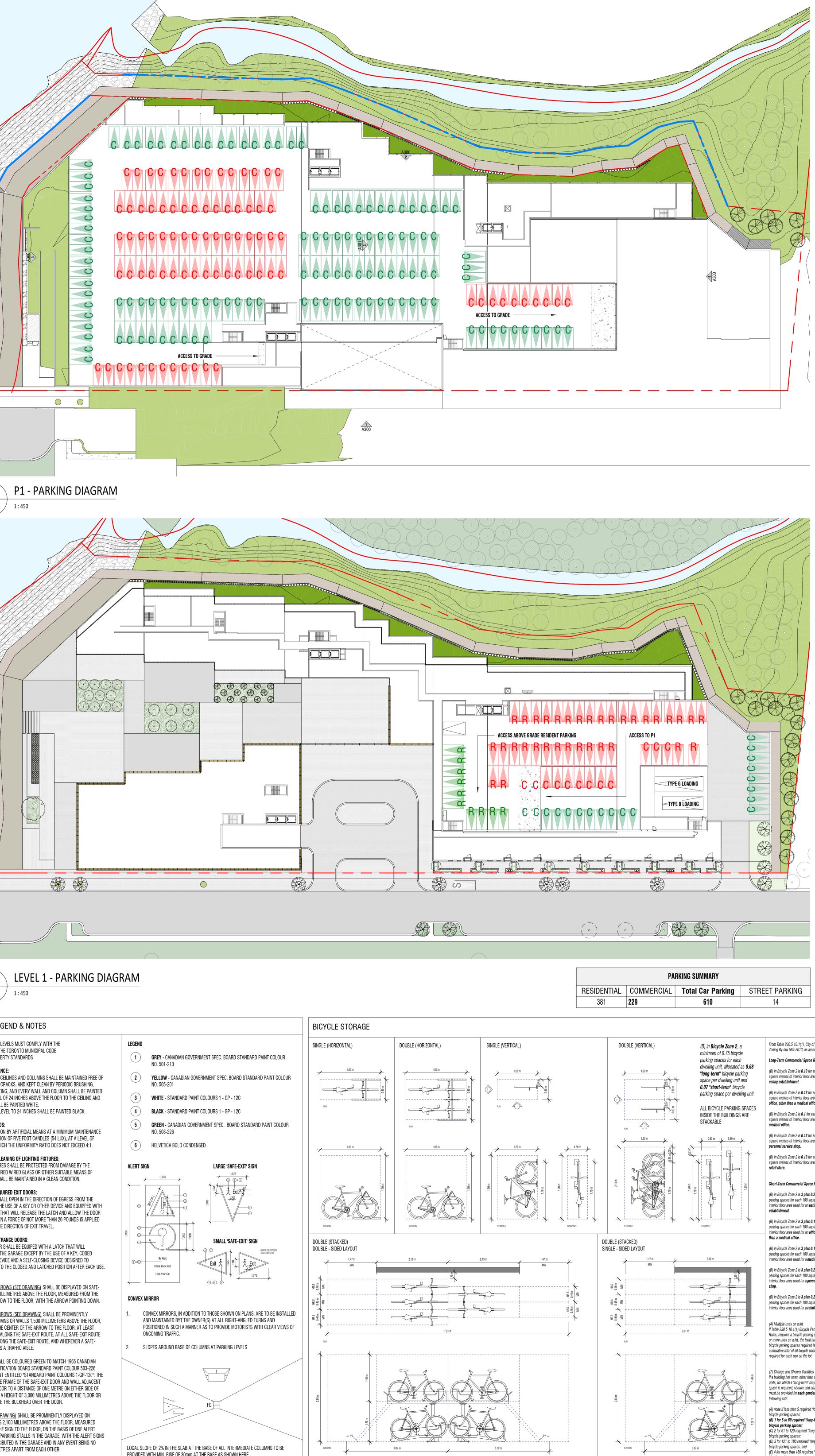
\_\_\_\_\_  $\bigcirc$ Project North True North

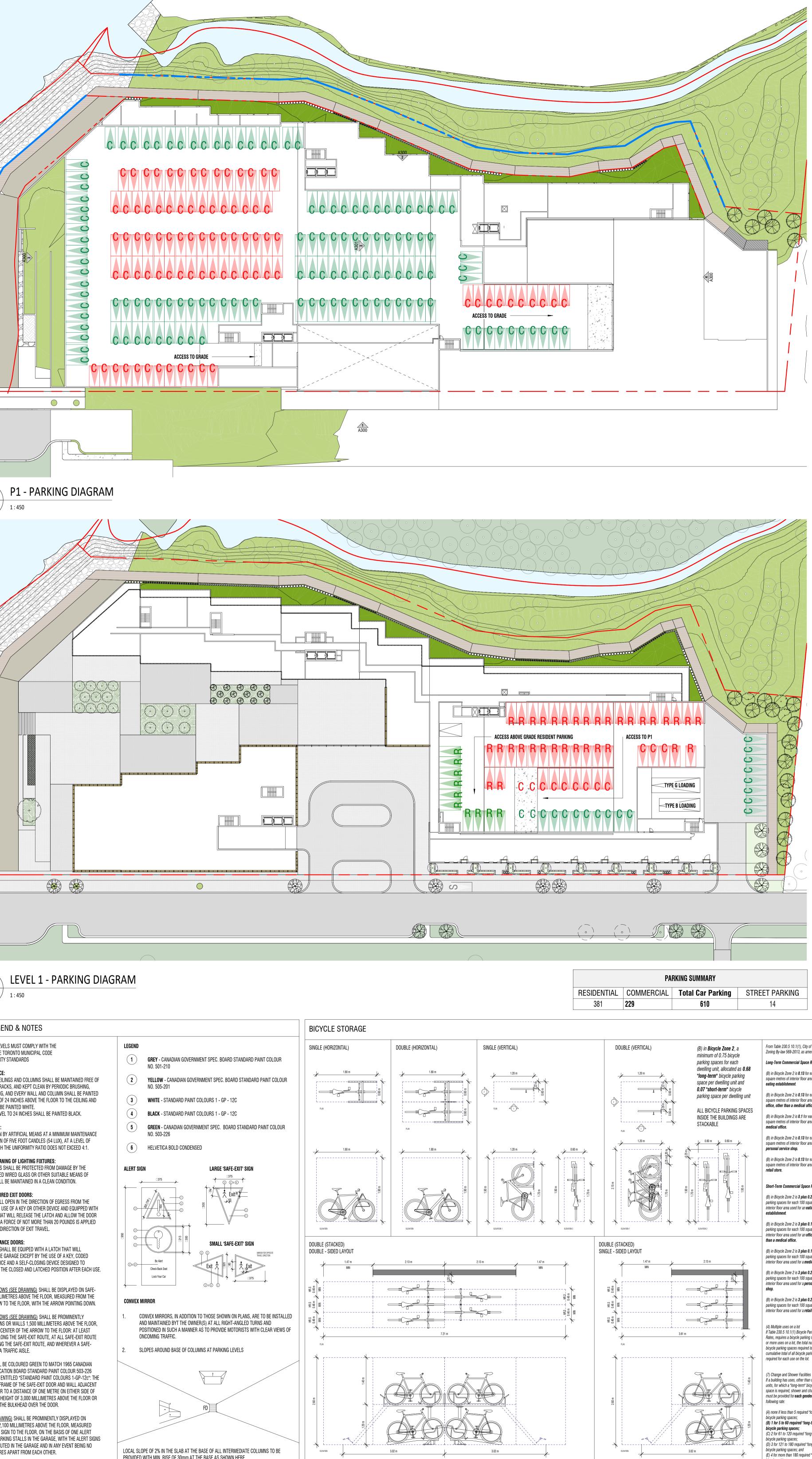
SCALE 1:1 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

**PROJECT STATS** 









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Globizen PROJECT BENCH

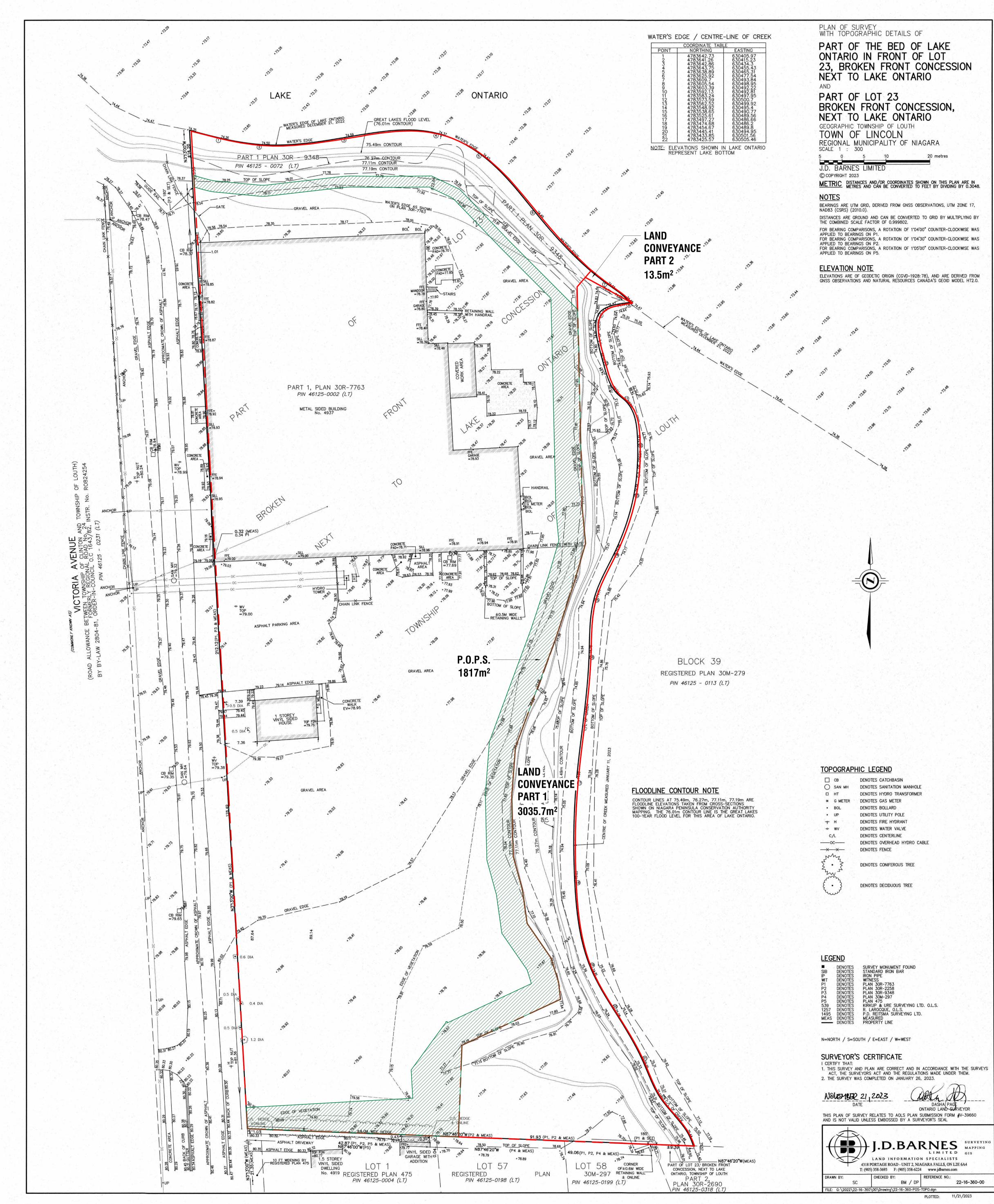
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4933 VICTORIA AVENUE NORTH

Project North True North SCALE As indicated

PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

PARKING DIAGRAM

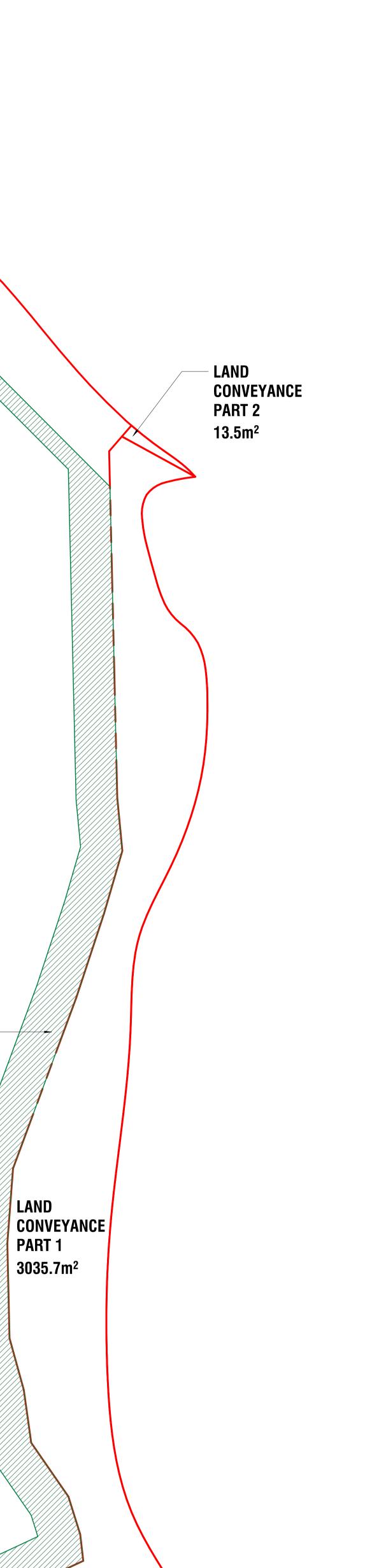


Jann NY DASHA PAGE ONTARIO LAND SURVEYOR

22-16-360-00 PLOTTED: 11/21/2023

P.O.P.S. 1817m<sup>2</sup>

PROPOSED LAND CONVEYANCE



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SCALE 1 : 350 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

SURVEY



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gh3 gh3\* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

\_\_\_\_\_ Globizen **PROJECT BENCH** 

4933 VICTORIA AVENUE NORTH

\_\_\_\_\_

Project North True North

 SCALE
 1 : 1000

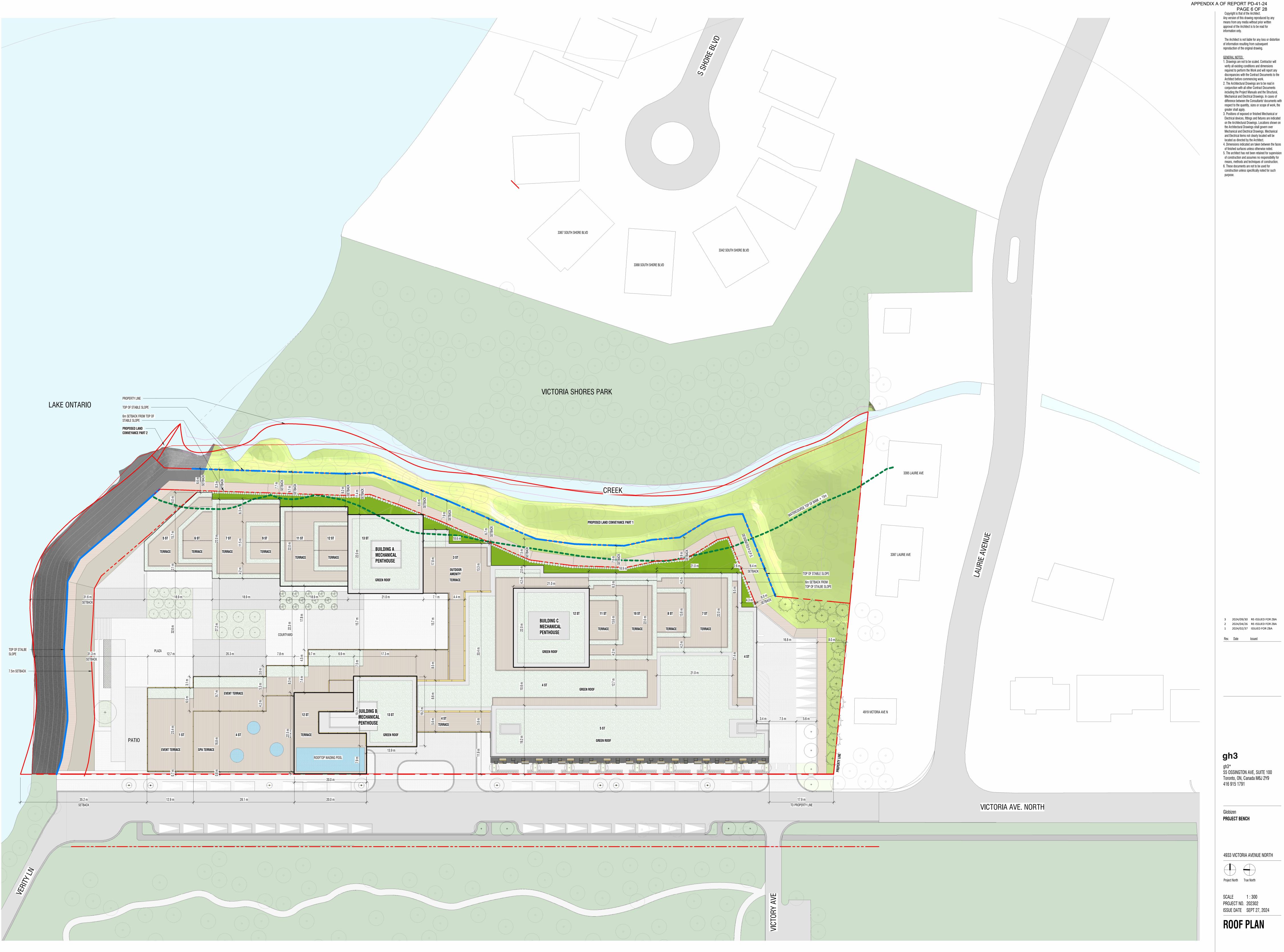
 PROJECT NO.
 202302

 ISSUE DATE
 SEPT 27, 2024

**CONTEXT PLAN** 

A102

VICTORIA AVENUE



ROOF PLAN

1

A103 1:300

# A103

# **ROOF PLAN**

SCALE 1 : 300 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

Project North True North

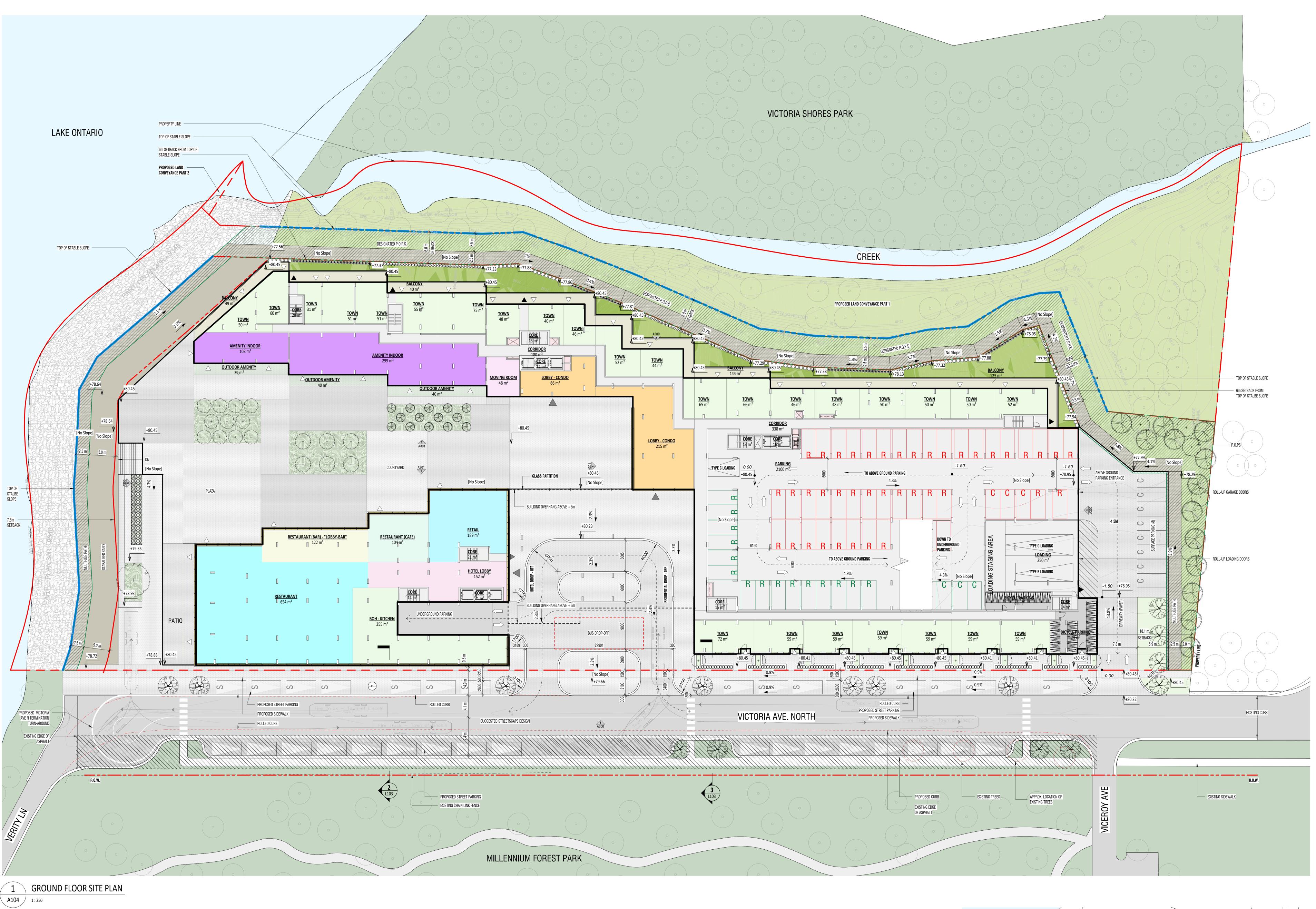
4933 VICTORIA AVENUE NORTH

**PROJECT BENCH** 

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3 2024/09/30 RE-ISSUED FOR ZBA 2 2024/04/26 RE-ISSUED FOR ZBA 1 2024/02/37 ISSUED FOR ZBA Rev. Date Issued



### 1.0 SUMMARY

TOTAL SITE AREA <u>19.348.3 m²</u> <u>16,299.1 m²</u> **NET SITE AREA** LAND CONVEYANCE PART 1 3.035.7 m<sup>2</sup> LAND CONVEYANCE PART 2 <u>13.5 m<sup>2</sup></u>

### TOTAL GFA - 41,314 m<sup>2</sup> **FSI** - 2.52

	PROPOSED BUILDING	A SUMMARY	
Blank	Total Non-Residential GFA (m²)	Residential GFA (m <sup>2</sup> )	TOTAL GFA (m²)
BUILDING A	18	14,361	14,379
BUILDING B	10,975	0	10,975
BUILDING C	95	13,262	13,372
BELOW GRADE NON-PARKING	1,042	1,399	2,361
TOTAL GFA:	12,252	29,127	41,314

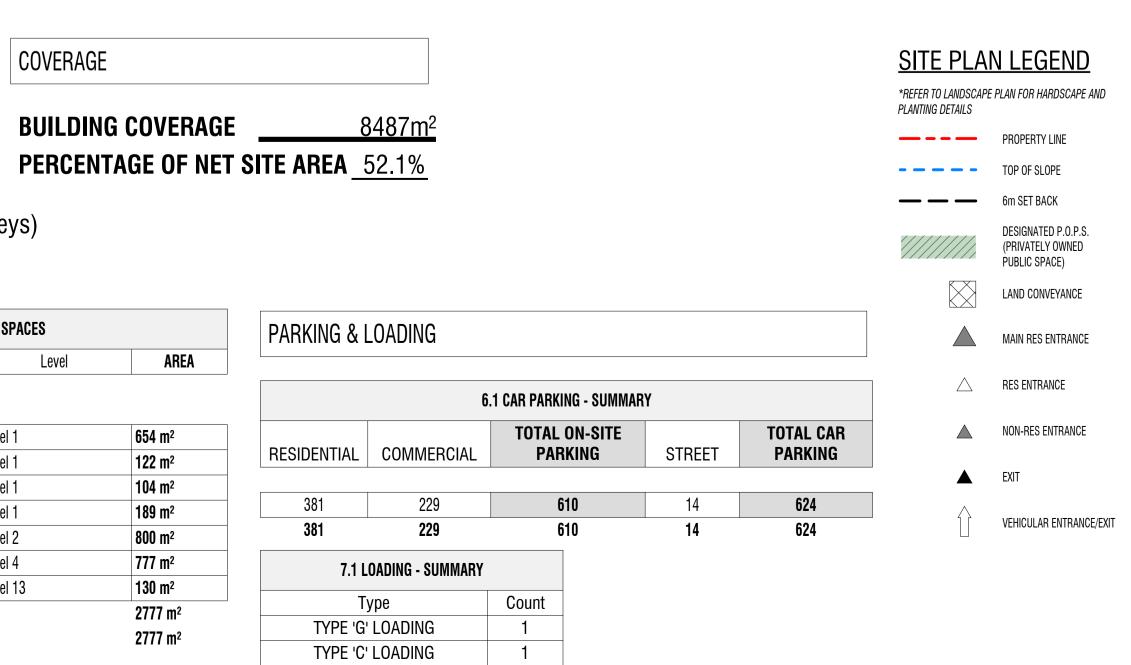
### 2.0 BUILDING HEIGHTS

COVERAGE

### Building A: 46 m (13 Storeys) Building B: 45.5 m (13 Storeys) Building C: 43 m (12 Storeys) Building C TOWN: 19.4 m (5 Storeys)

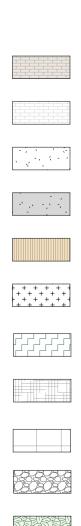
4.2 COMMERCIAL SPACES Name Level RESTAURANT Level 1 RESTAURANT (BAR) - "LOBBY-BAR" Level 1 **RESTAURANT (CAFE)** Level 1 RETAIL Level 1 Level 2 EVENT Level 4 SPA RESTAURANT (BAR) - "SKY BAR" Level 13

TOTAL COMMERCIAL UNIT AREA



1

TYPE 'B' LOADING



PROPOSED CANOPY TREE

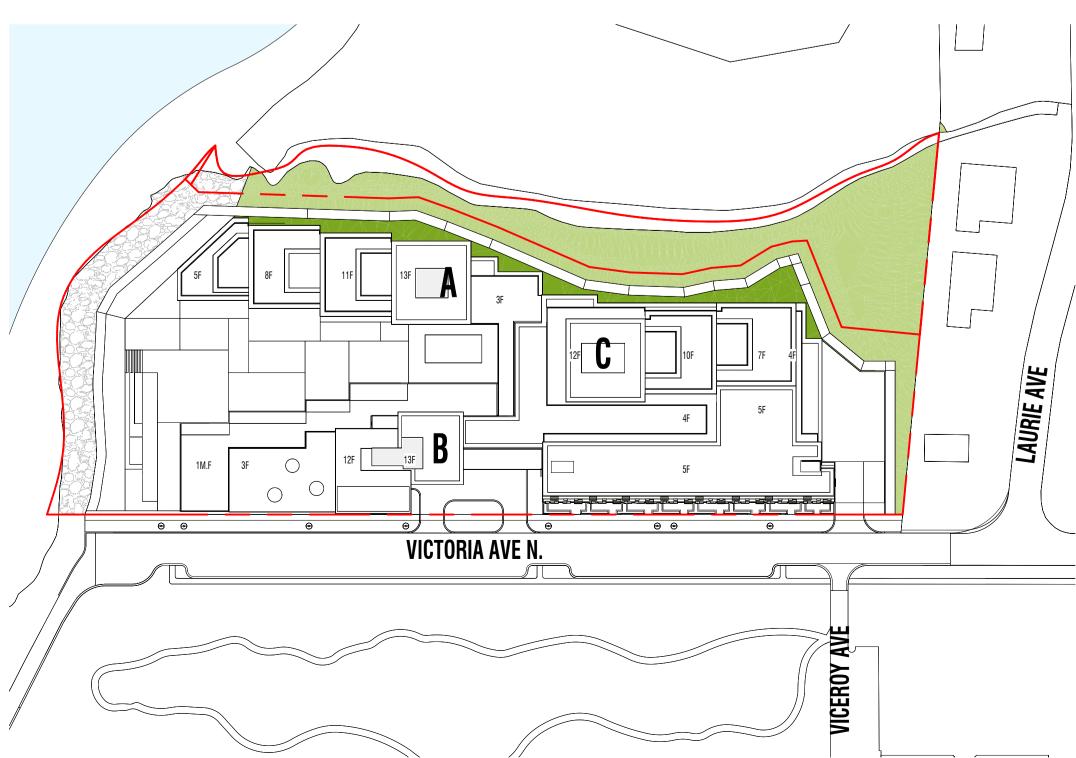
PROPOSED CANOPY TREE

+ PROPOSED UNDERSTORY TREE

○ ) EXISTING CONTEXT TREE

 $\rightarrow$ 

FEATURE PAVERS, PERMEABLE PERMEABLE PAVERS WITH SRI  $\geq$  29 CONCRETE PAVING SRI VALUE : 29 OR BETTER Concrete Paving Sri Value : 29 or Better WOOD DECKING SRI VALUE : 29 OR BETTER ARTIFICIAL TURF GRASS / DOG RELIEF AREA BICYCLE LANE BLACK MULCH CONCRETE SIDEWALK PAVING SRI ≥ 29 BALLAST ROOF INTENSIVE GREEN ROOF



### APPENDIX A OF REPORT PD-41-24



#### <u>NOTES</u> A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS

- UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVAL AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- TYPE G LOADING 6.1m MINIMUM VERTICAL CLEARANCE. MINIMUM 200mm THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA. FLOOR GRADE NOT TO EXCEED +/-2%
- THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FORM THE TYPE G LOADING AREA ENABLING IT TO EXIT THE SITE IN A FORWARD MOTION.
- A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING. SYSTEM TO INCLUDE LIGHTS AND SIGNS.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE TO HAVE A MAXIMUM GRADIENT OF 8%, HAVE A MINIMUM VERTICAL CLEARANCEOF 4.4 METERS THROUGHOUT, A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND BE 6 METERS WIDE AT POINT OF INGRESS AND EGRESS.
- PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4M VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000 KG.
- STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS: (A) DESIGN CODE -ONTARIO BUILDING CODE (B) DESIGN LOAD -CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS (C) IMPACT FACTOR -5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- 4-FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL

	NSERVATION (EZ) ZONE	ENVIRONMENTAL S
ZONE	GENERAL COMME	PROPOSED
PERMITTED USE	UCORRECTION DE LA CARRENT DE LA CARRENT.	NT, COMMERCIAL
MIN. LOT AREA	1,000m2	16.229m2
MIN. LOT FRONTAGE	15m	226m 0.0m, EXCEPT, 3.0
MIN. FRONT YARD SETBACK	3.0m	TO A DWELLING UNIT
MIN. INTERIOR SIDE YARD SETBACK	4.5m	6.0m
MIN. EXTERIOR SIDE	EXCEPT THAT WHERE THE INTERIOR SIDE YARD ABUTS R1 OR R2 ZONE, ANY PORTION OF THE HEIGHT OF A BUILDING IS GREATER THAN 15 METRES SHALL BE SETBACK A MINIMUM DISTANCE OF THE HEIGHT OF THE BUILDING 3.0m	15.0m
YARD SETBACK MIN. REAR YARD	7.5m	5.0m
SETBACK	EXCEPT THAT WHERE THE REAR YARD ABUTS R1 OR R2 ZONE, ANY PORTION OF THE HEIGHT OF A BUILDING IS GREATER THAN 15 METRES SHALL BE SETBACK A MINIMUM DISTANCE OF THE HEIGHT OF THE BUILDING	
MAX. FRONT AND	6.0m	12.0m
MIN. SETBACK TO STABLE TOP OF BANK	- 40%	6.0m N/A
MAX. LOT COVERAGE MAX. BUILDING HEIGHT	40% 12.5m	54m
MAX. BUILDING HEIGHT	N/A	N/A
MIN. LANDSCAPED OPEN SPACE	20%	0.15%
MAX. OVERALL BUILDING AREA	N/A	N/A
MIN. PERCENTAGE OF WINDOWS AND DOORS ALONG ANY FAÇADE FACING ANY STREETLINE	25%	MIN. 25% OF BUILDI FAÇADE FACING PUBLIC STREET SHA BE OCCUPIED BY GLAZING, DOORS AND/OR GREEN WA
MIN. WINDOW HEIGHT ON WINDOWS FACING ANY STREETLINE	1.8m	2
MAX. WINDOW SILL HEIGHT ON WINDOWS	1.0m	TË
FACING ANY STREETLINE	1.2m	15
DETAIL LICE ADDA	MAX. 1,000m2 PER INDIVIDUAL USE ON	MAX. 1,500m2 PE INDIVIDUAL USE C
RETAIL USE AREA MIN. PLANING STRIP WIDTH AD JACENT TO	GROUND FLOOR	GROUND FLOOF
WIDTH ADJACENT TO R1 AND R2 ZONE	3.0m	3.0m 4.0m2 PER
MIN. AMENITY AREA MAX. DWELLING UNITS AREA ON GROUND FLOOR PARKING	1-	DWELLING UNIT DWELLING UNITS M BE PERMITTED ON T GROUND FLOOR PROVIDED THEY DI NOT OCCUPY MOR THAN 50% OF THE GROUND FLOOR O THE BUILDING, APPLICABLE TO AL PHASES COLLECTIVELY.
REQUIRED PARKING		
SPACES DWELLING UNIT IN A MIXED USE	1 PER UNIT	1 PER UNIT PLU 0.1 VISITOR SPAC
DEVELOPMENT	1 SPACE PER GUEST	PER UNIT 0.75 PER HOTEL
HOTEL	ROOM 1 SPACE PER 30m2	SUITE
BAR (OTHER)	OF GROSS FLOOR	OF PUBLIC FLOC
90°- 12	1 SPACE PER 30m2 OF GROSS FLOOR	1 SPACE PER 30n OF PUBLIC FLOC
CAFÉ (OTHER)	AREA 1 SPACE PER 30m2	AREA 1 SPACE PER 30n
RETAIL	OF GROSS FLOOR AREA	OF PUBLIC FLOC AREA
	1 SPACE PER 6 SEATS OR 1 SPACE	1 SPACE PER 20n OF PUBLIC FLOC
PLACE OF ENTERTAINMENT	PER 10m2 OF GROSS FLOOR AREA	AREA
RESTAURANT	DINING: 1 SPACE PER 4.5m2 OF PUBLIC FLOOR AREA	OF PUBLIC FLOC
PERSONAL SERVICE	1 SPACE PER 30m2 OF GROSS FLOOR	1 SPACE PER 30n OF PUBLIC FLOO
USE	AREA IN ACCORDANCE	AREA IN ACCORDANC
ALL OTHER USES	WITH PROVISIONS OF SECTION 4	WITH PROVISION OF SECTION 4
ACCESSIBLE PARKING SPACES	0-12 REQUIRED: 1 TYPE A	7
	13-100 REQUIRED: 4% OF REQUIRED;	
	50% TYPE A AND 50% TYPE B	
	100-200 REQUIRED: 1 + 3% OF	NOT SHOWN IN CURRENT
	REQUIRED; 50% TYPE A AND 50%	PRELIMINARY CONCEPT PLAN BUT WILL BE
	TYPE B 201-1000 REQUIRED:	PROVIDED.
	2 + 2% OF REQUIRED; 50%	
MIN DADIVING COV OF	TYPE A AND 50% TYPE B	
MIN. PARKING SPACE SIZE MIN. BARRIER-FREE	5.8m x 2.75m	5.6m x 2.6m
MIN. BARRIER-FREE ACCESSIBLE SPACE SIZE	TYPE A: 3.4m x 5.5m	14
	TYPE B: 2.75m x 5.5m	8 <b>7</b>
MIN. BARRIER-FREE ACCESSIBLE AISLE	1.5m	12
WIDTH MIN. TWO-WAY	6.7m	6.0m
TRAFFIC AISLE MIN. PARKING	v.cm	
SETBACK FROM ANY STREETLINE OR REAR	3.0m	3.0m FROM STREETLINE
LOT LINE MIN. PARKING SETBACK FROM A		AFSTIN A R
SETBACK FROM A RESIDENTIAL OR INSTITUTIONAL ZONE	3.0m DWELLING UNIT IN A MIXED USE	3.0m
REQUIRE BICYCLE PARKING SPACES	DEVELOPMENT: 0.25 SPACES PER DWELLING UNIT HOTEL: 1.0 SPACES PER 100m2 OF	SPACE PER DWELLING UNIT
	GROSS FLOOR AREA OTHER: 1.0 SPACES	
	PER 200m2 OF GROSS FLOOR AREA	*
	RETAIL: 1.0 SPACES PER 200m2 OF GROSS FLOOR AREA	3
	PLACE OF ENTERTAINMENT: -	~
	EATING ESTABLISHMENT: 1.0	
	SPACES PER 100m2 OF GROSS FLOOR AREA	
	PERSON SERVICE USE: -	
ENCROACHMENTS		2.5m INTO ANY

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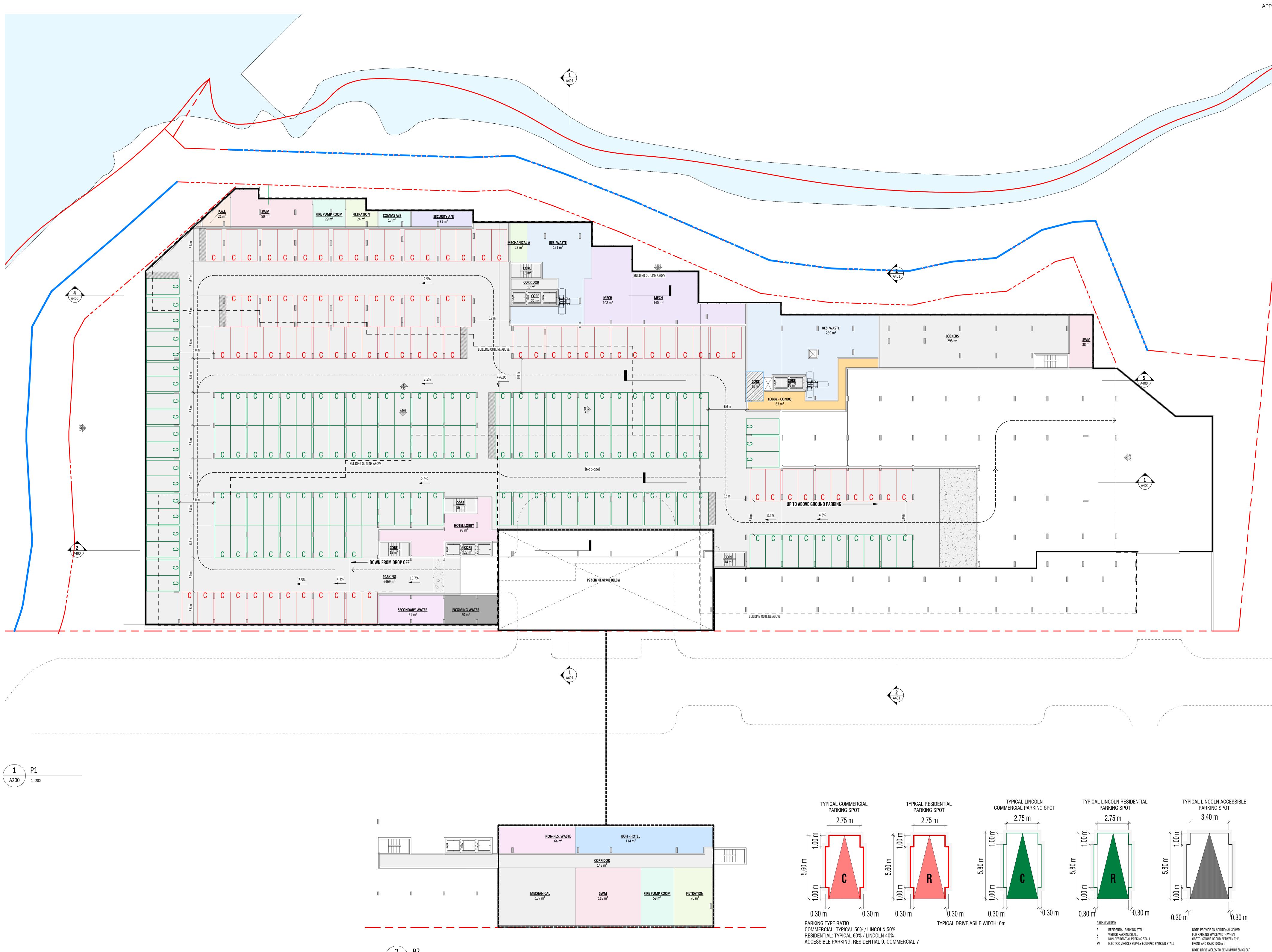
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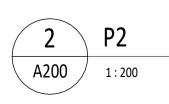
SCALE As indicated

PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

**GROUND FLOOR** - SITE PLAN

C FLOOR EA
PER 30m2 IC FLOOR EA
PER 20m2 IC FLOOR EA
PER 10m2 IC FLOOR EA
PER 30m2 IC FLOOR EA





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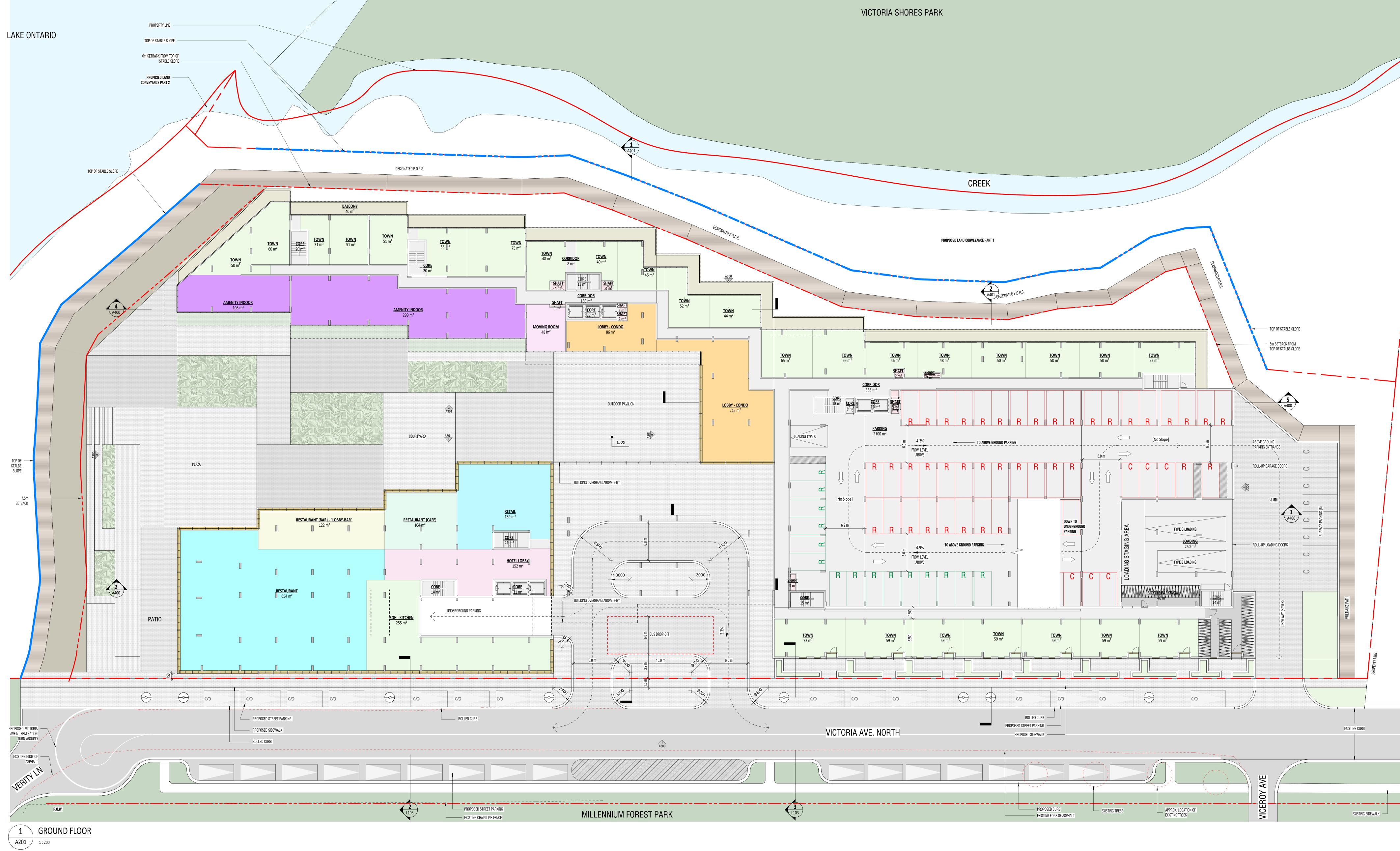
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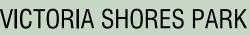
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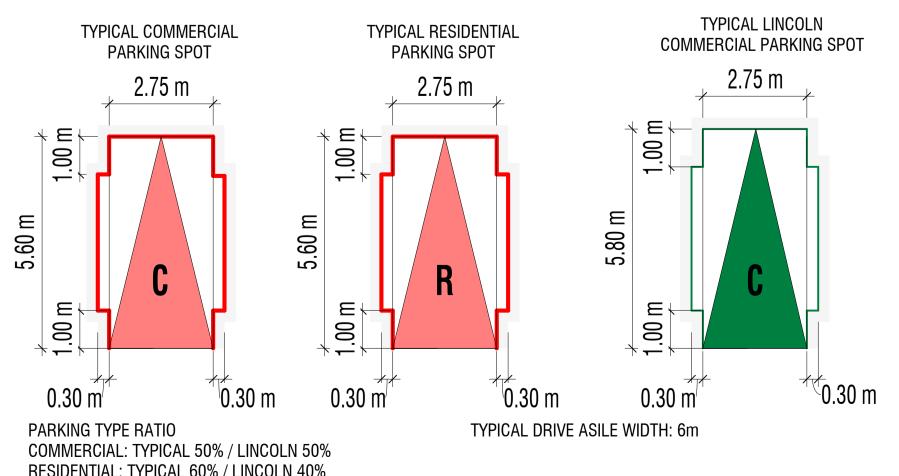
 $\bigoplus \bigoplus$ Project North True North

SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 -----

P1 LEVEL







RESIDENTIAL: TYPICAL 60% / LINCOLN 40% ACCESSIBLE PARKING: RESIDENTIAL 9, COMMERCIAL 7

# A201

# **GROUND FLOOR**

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Project North True North

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R.O.W

EXISTING SIDEWALK

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APPENDIX A OF REPORT PD-41-24

information only.

GENERAL NOTES:

greater shall apply.

purpose.

PAGE 9 OF 28

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Architect before commencing work.

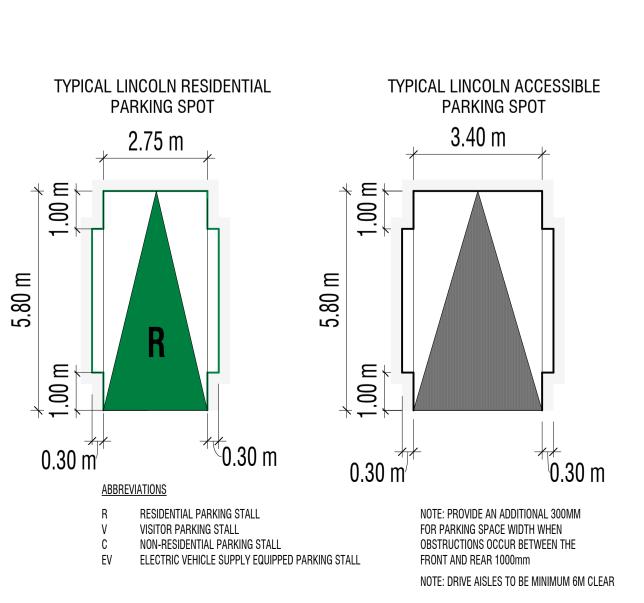
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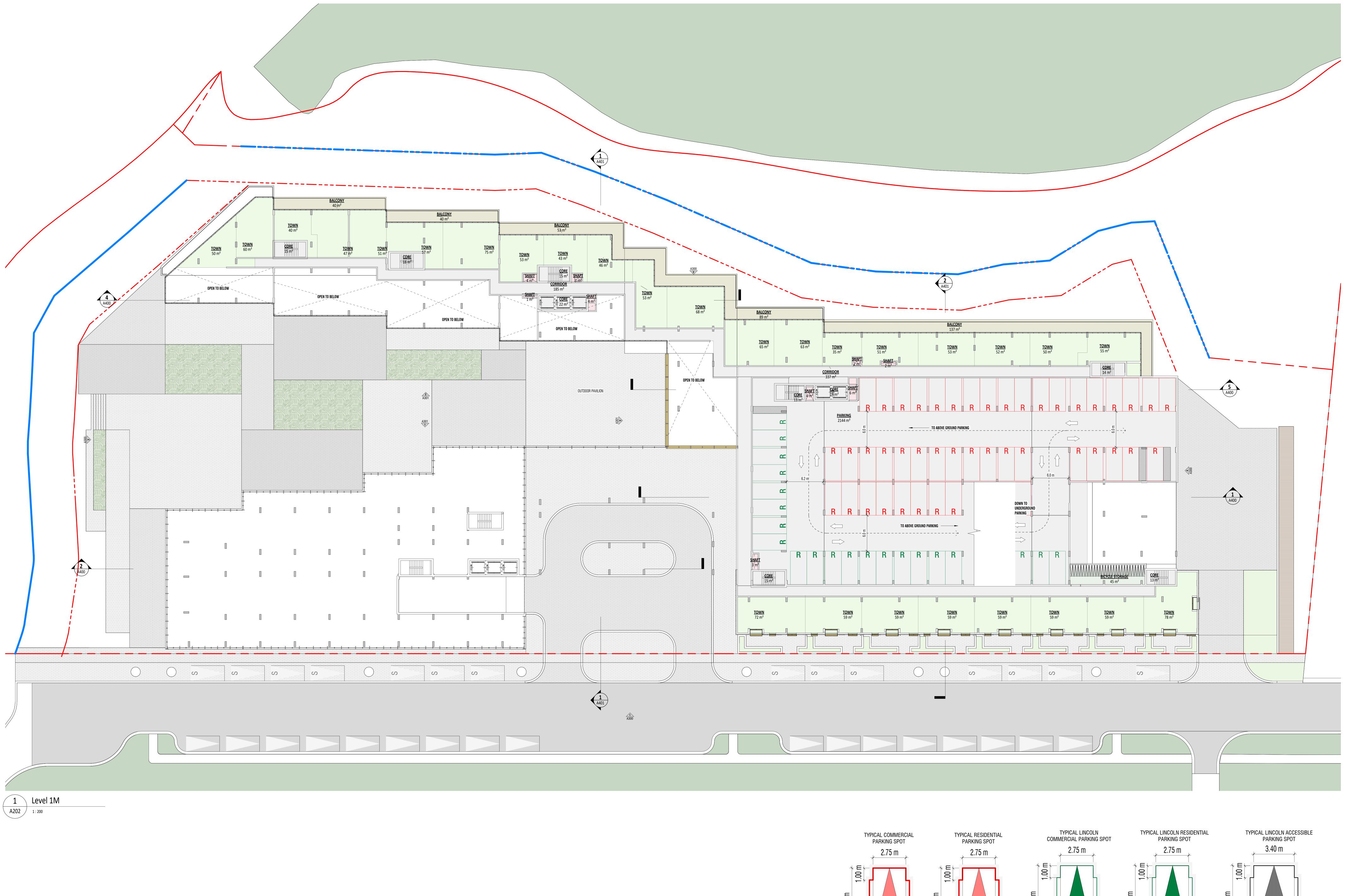
—— TOP OF STABLE SLOPE — 6m SETBACK FROM TOP OF STALBE SLOPE ABOVE GROUND PARKING ENTRANCE O ROLL-UP GARAGE DOORS C C TYPE G LOADING \_\_\_\_ S LOADING 250 m<sup>2</sup> ROLL-UP LOADING DOORS C TYPE B LOADING S 2000 14 m<sup>2</sup> S EXISTING CURB

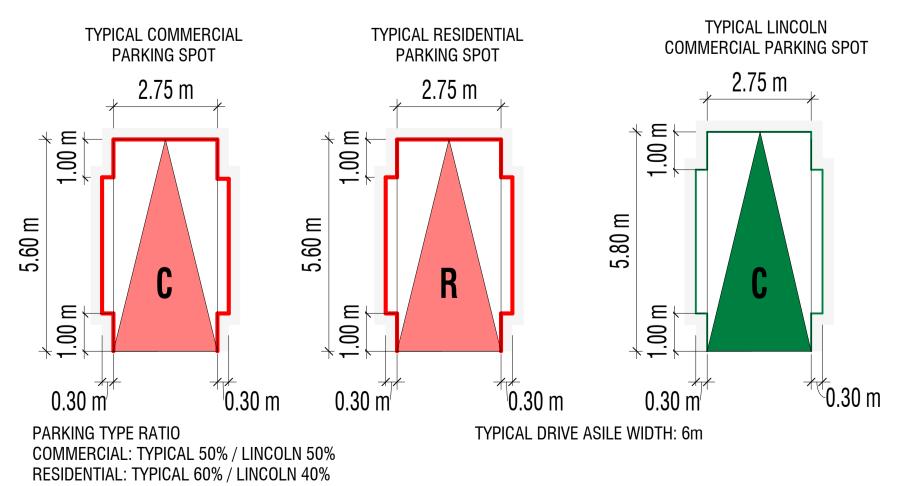


AVE

2

NC





80

Ω.

E⊬

0.30 m

+

ABBREVIATIONS

R RESIDENTIAL PARKING STALL

NON-RESIDENTIAL PARKING STALL

EV ELECTRIC VEHICLE SUPPLY EQUIPPED PARKING STALL

V VISITOR PARKING STALL

8

\* **---** \*

80

S

\*<sup>\*</sup>\*0.30 m

Бŕ

0.30 m

+

+

NOTE: PROVIDE AN ADDITIONAL 300MM For Parking space width when

NOTE: DRIVE AISLES TO BE MINIMUM 6M CLEAR

OBSTRUCTIONS OCCUR BETWEEN THE

FRONT AND REAR 1000mm

0.30 m

0

\***--**\*

ACCESSIBLE PARKING: RESIDENTIAL 9, COMMERCIAL 7

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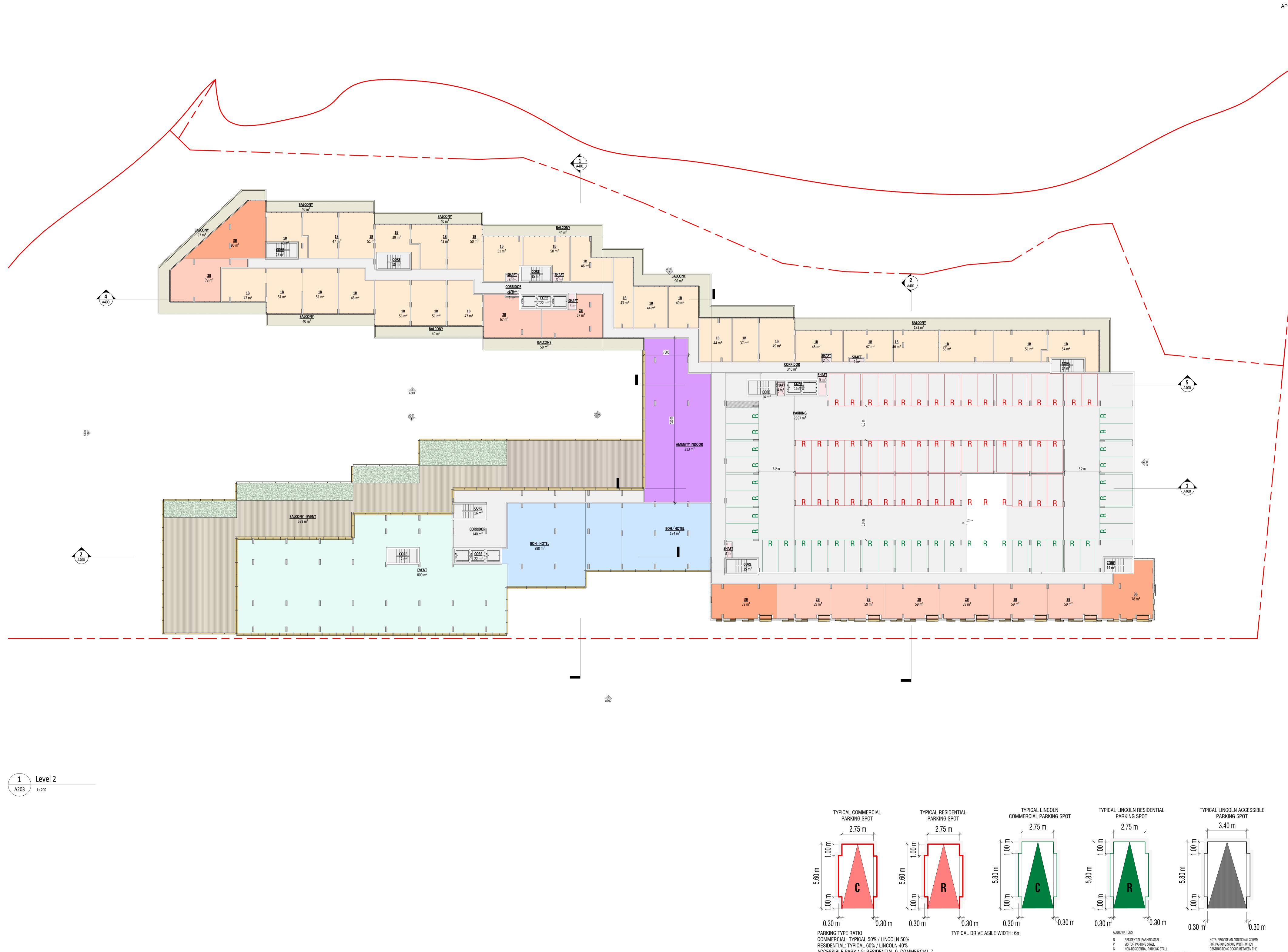
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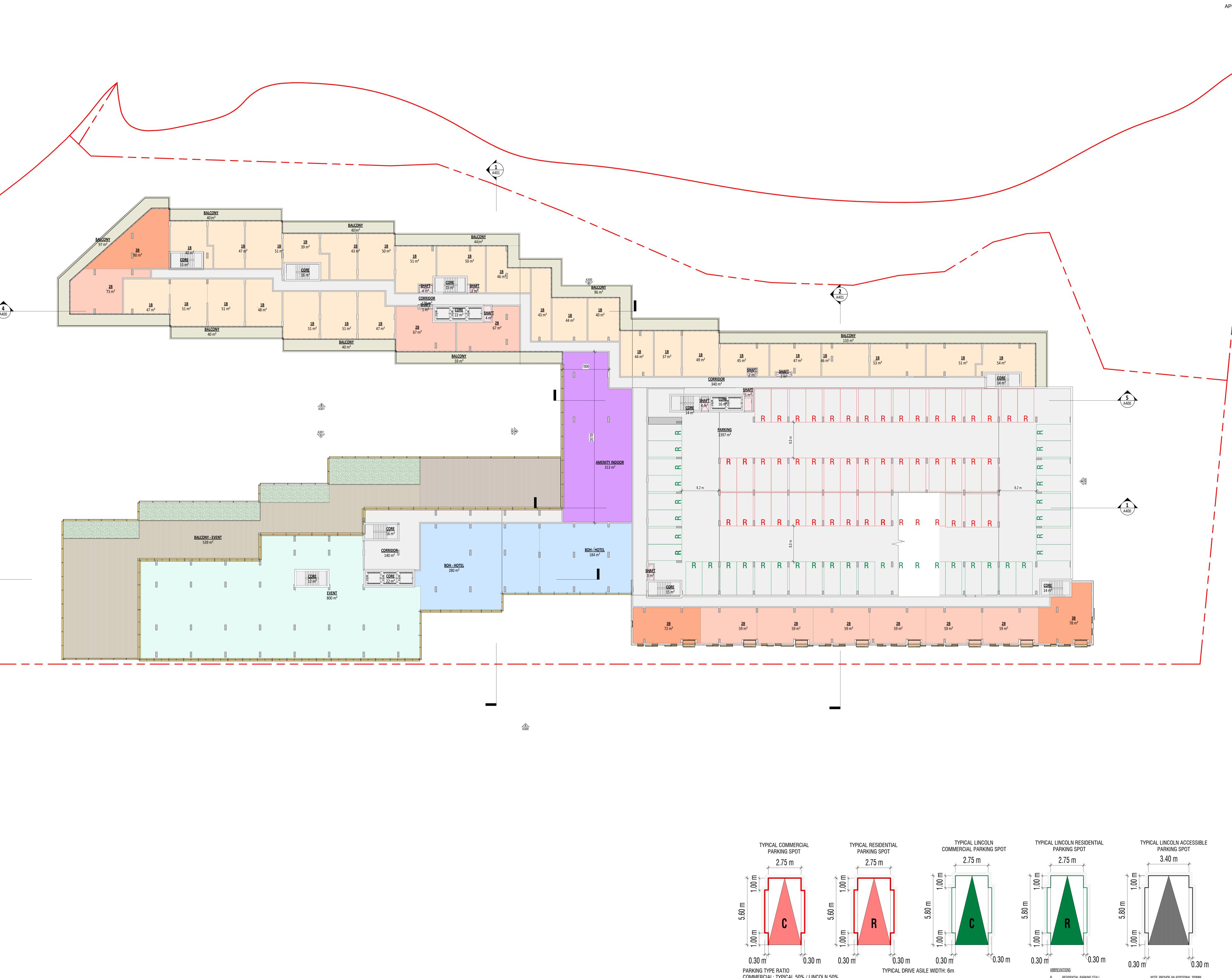
MEZZANINE LEVEL

# A202

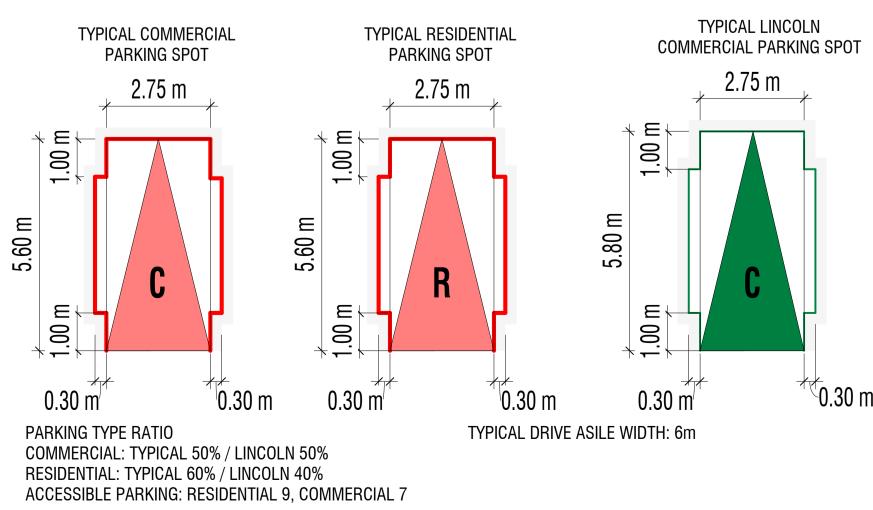
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LEVEL 2

NON-RESIDENTIAL PARKING STALL EV ELECTRIC VEHICLE SUPPLY EQUIPPED PARKING STALL

FRONT AND REAR 1000mm

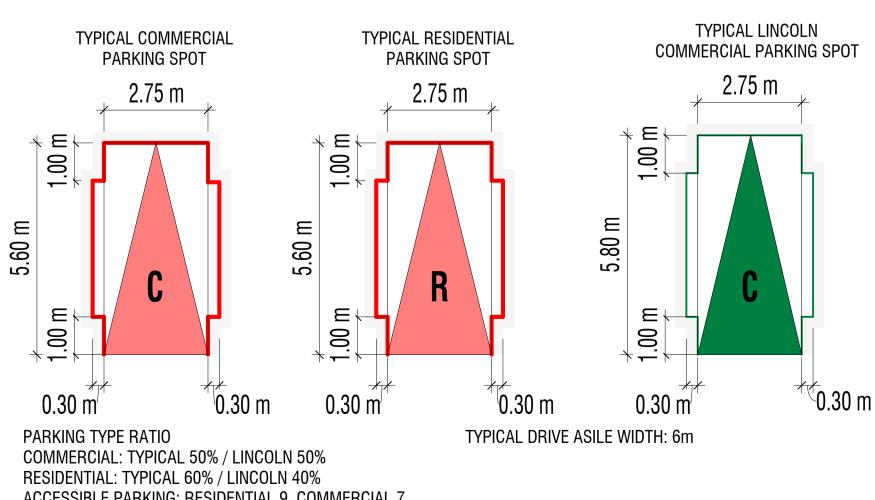
NOTE: DRIVE AISLES TO BE MINIMUM 6M CLEAR

\_\_\_\_\_

# \_\_\_\_\_



<b>2</b> A400		p		• []
	] [		BOH - SPA MECH 146 m <sup>2</sup>	ANICAL
			0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	



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gh3 gh3\* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

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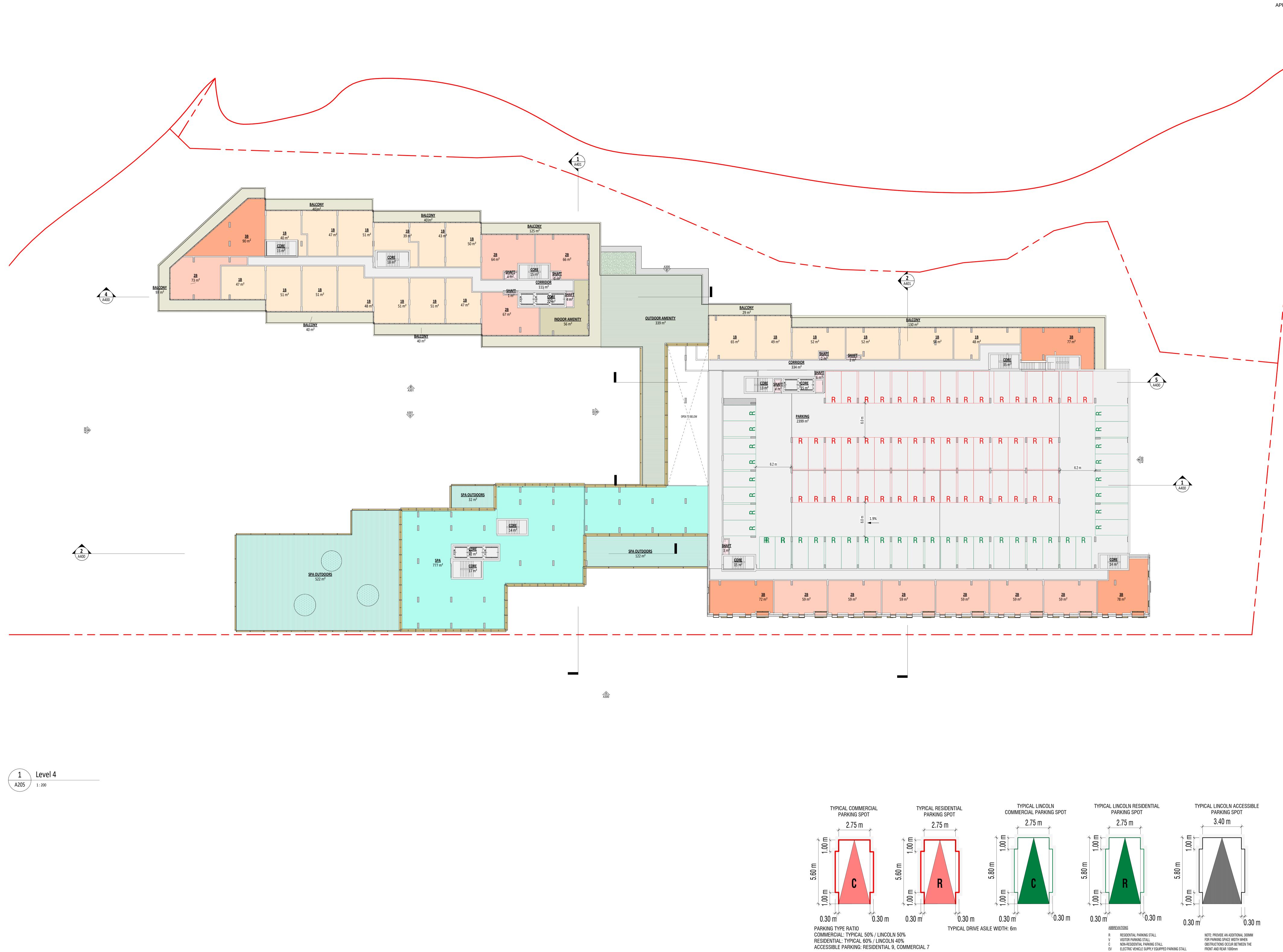
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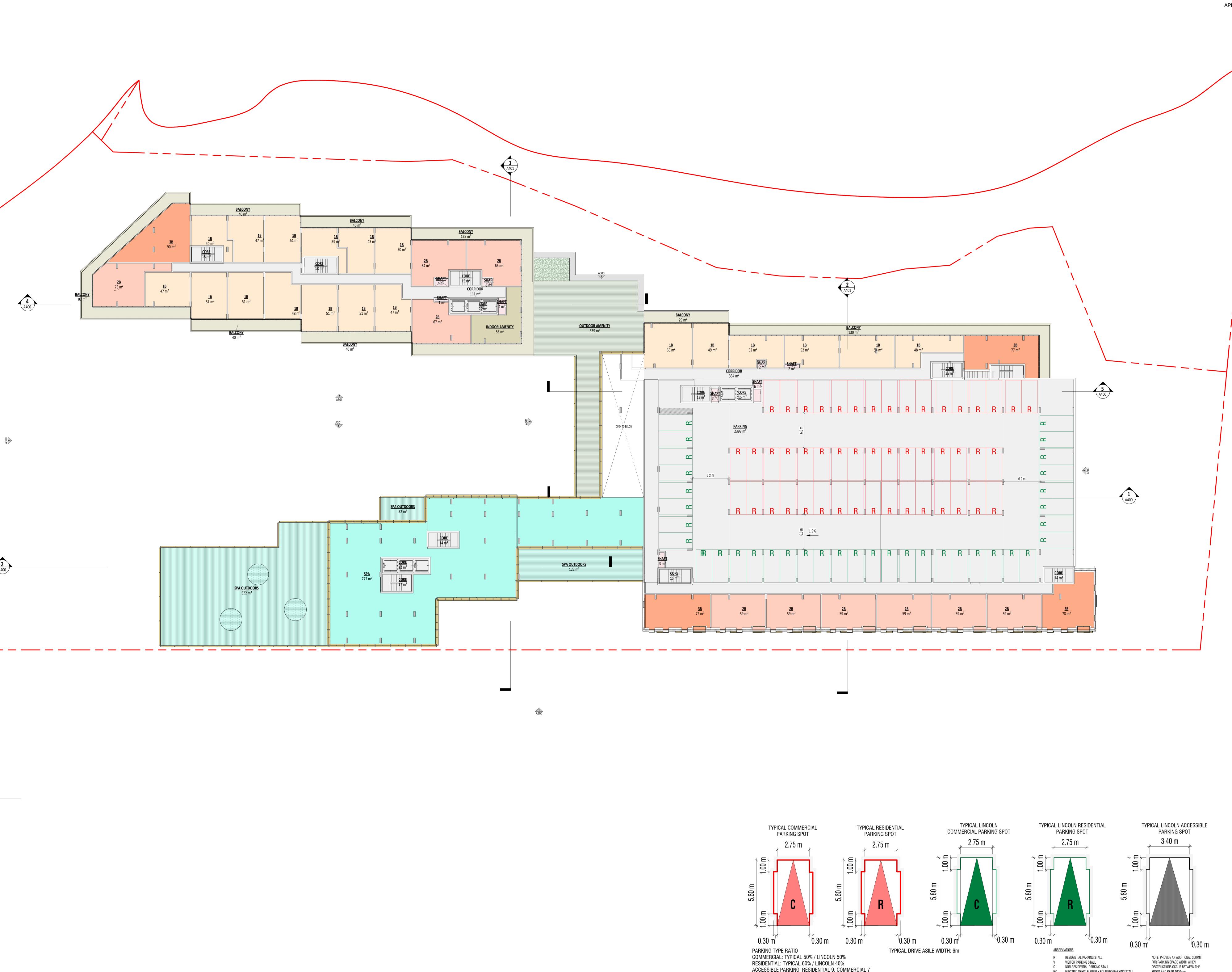
4933 VICTORIA AVENUE NORTH \_\_\_\_\_

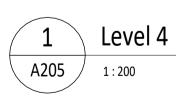
 $\bigoplus \ \bigoplus$ Project North True North

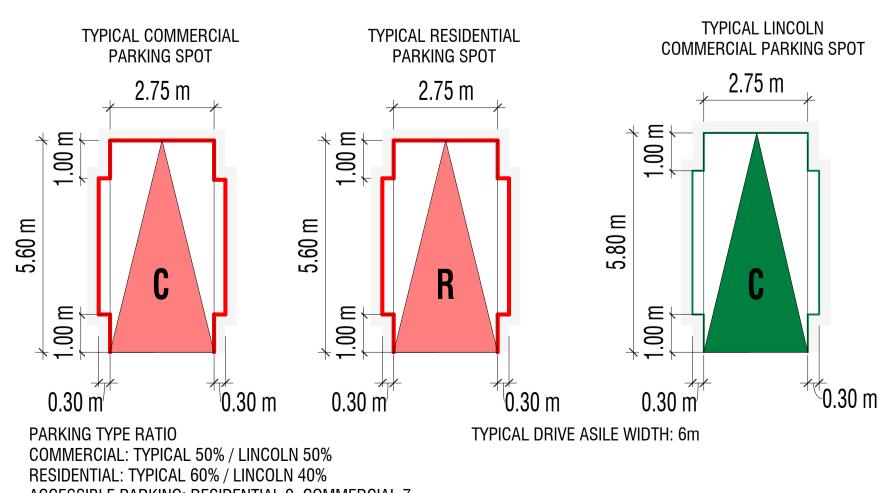
SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

LEVEL 3









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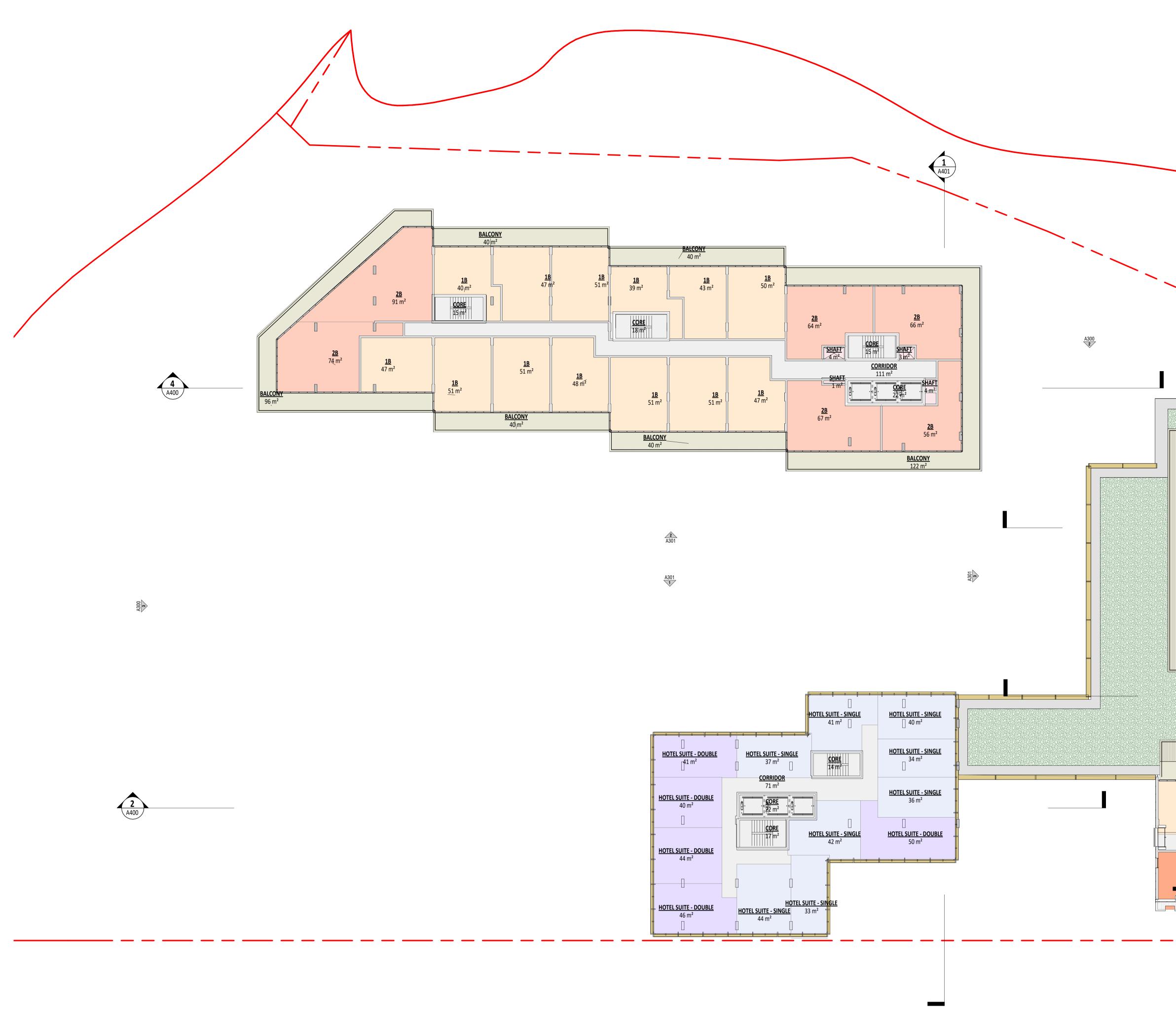
4933 VICTORIA AVENUE NORTH \_\_\_\_\_

 $\bigoplus \ \bigoplus$ Project North True North

SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

LEVEL 4

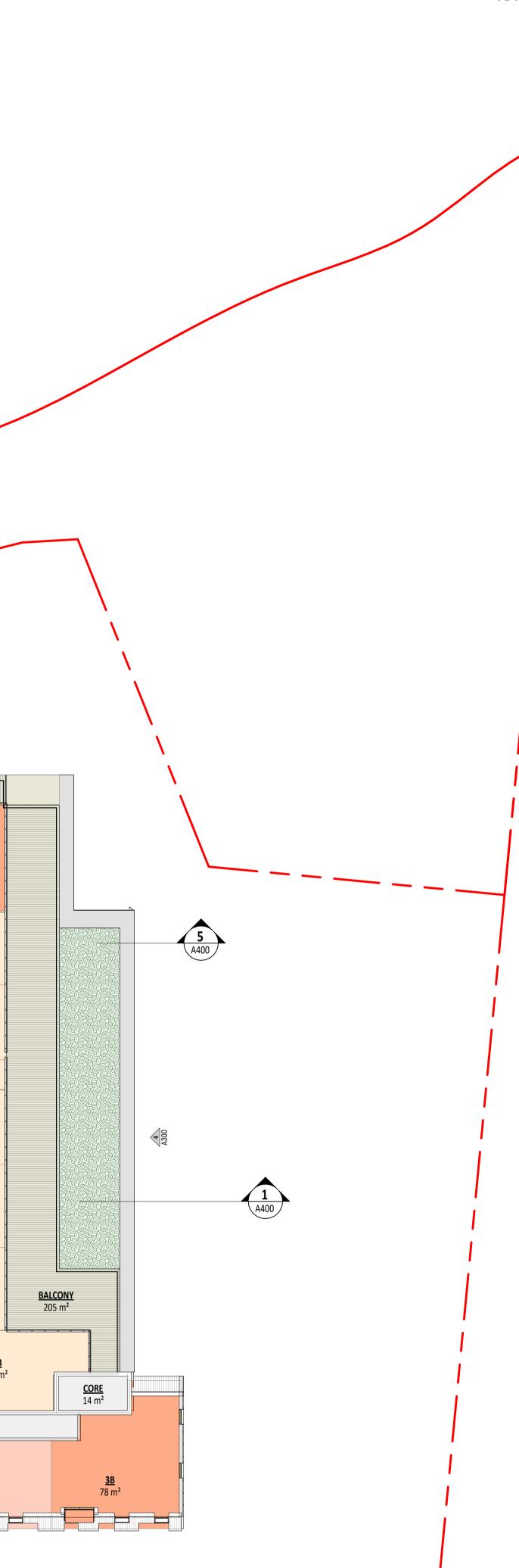
NOTE: DRIVE AISLES TO BE MINIMUM 6M CLEAR



1 Level 5 A206 1:200

**3** L103

		2 A401			
3B         102 m²         Image: Share of the second	<u>2B</u> <u>1B</u>		1B       1B         59 m²       62 m²         3B       83 m²         3B       83 m²         1       1	CORE 15 m <sup>2</sup> 15 m <sup>2</sup> 15 m <sup>2</sup> 15 m <sup>2</sup> 15 m <sup>2</sup> 15 m <sup>2</sup> 18 m <sup>2</sup> 19 m <sup>2</sup>	$\frac{1B}{55 m^2}$ $\frac{1B}{60 m^2}$ $\frac{1B}{54 m^2}$ $\frac{1B}{43 m^2}$ $\frac{1B}{65 m^2}$ $\frac{1B}{43 m^2}$
2B 59 m <sup>2</sup>	2B 59 m <sup>2</sup>	2B 63 m <sup>2</sup>	28 55 m <sup>2</sup>	2 <u>B</u> 59 m <sup>2</sup>	2B 59 m <sup>2</sup>



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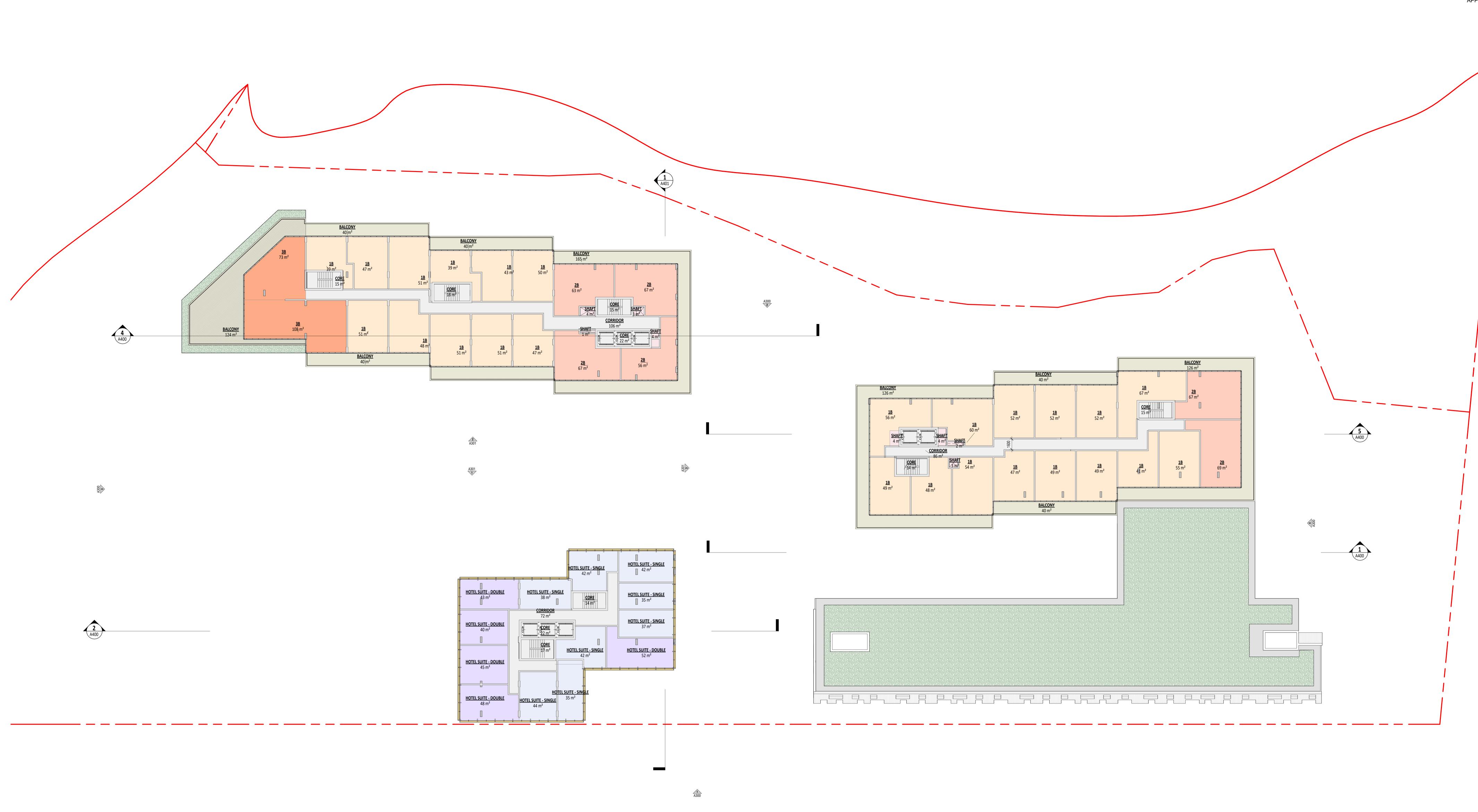
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Project North True North

SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

LEVEL 5



1 Level 6 A207 1:200

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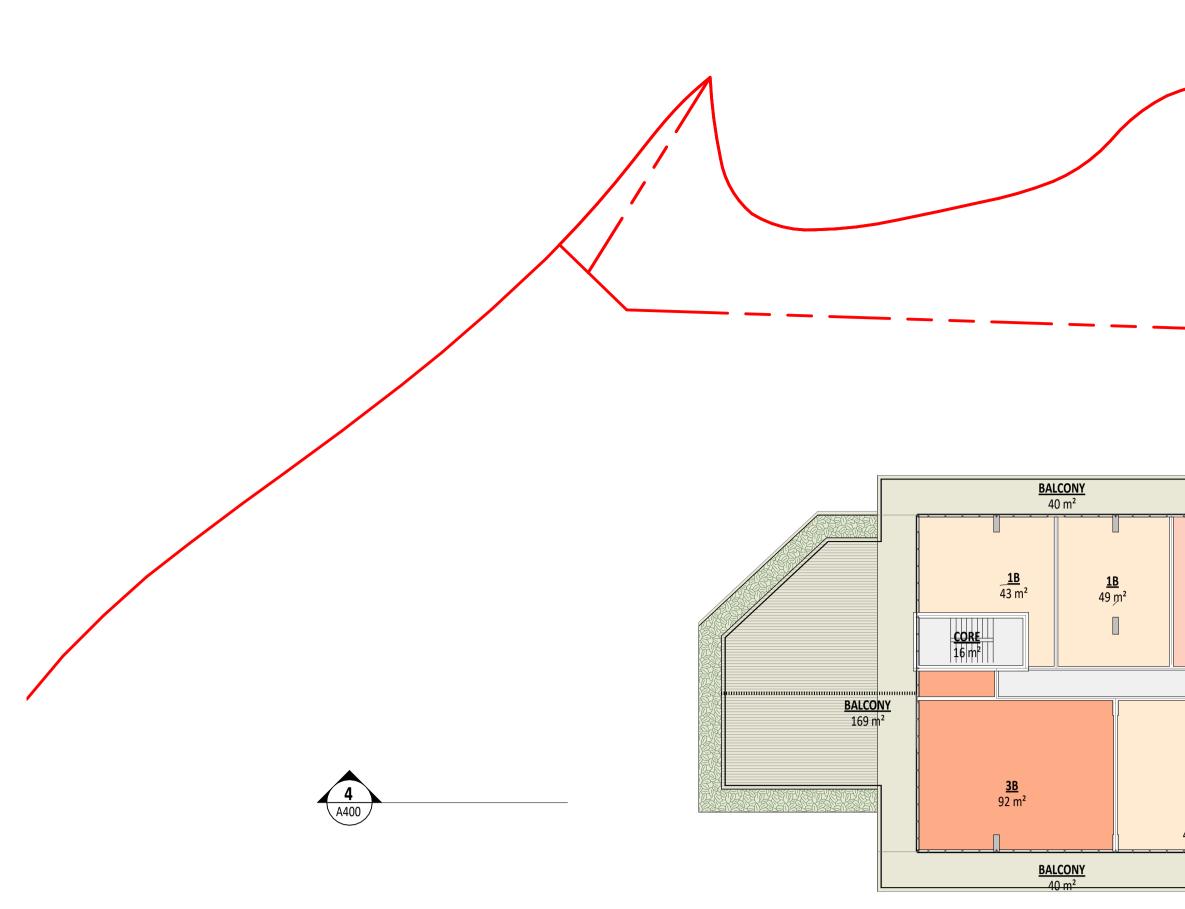
Project North True North

 SCALE
 1 : 200

 PROJECT NO.
 202302

 ISSUE DATE
 SEPT 27, 2024

LEVEL 6



A300

**2** A400

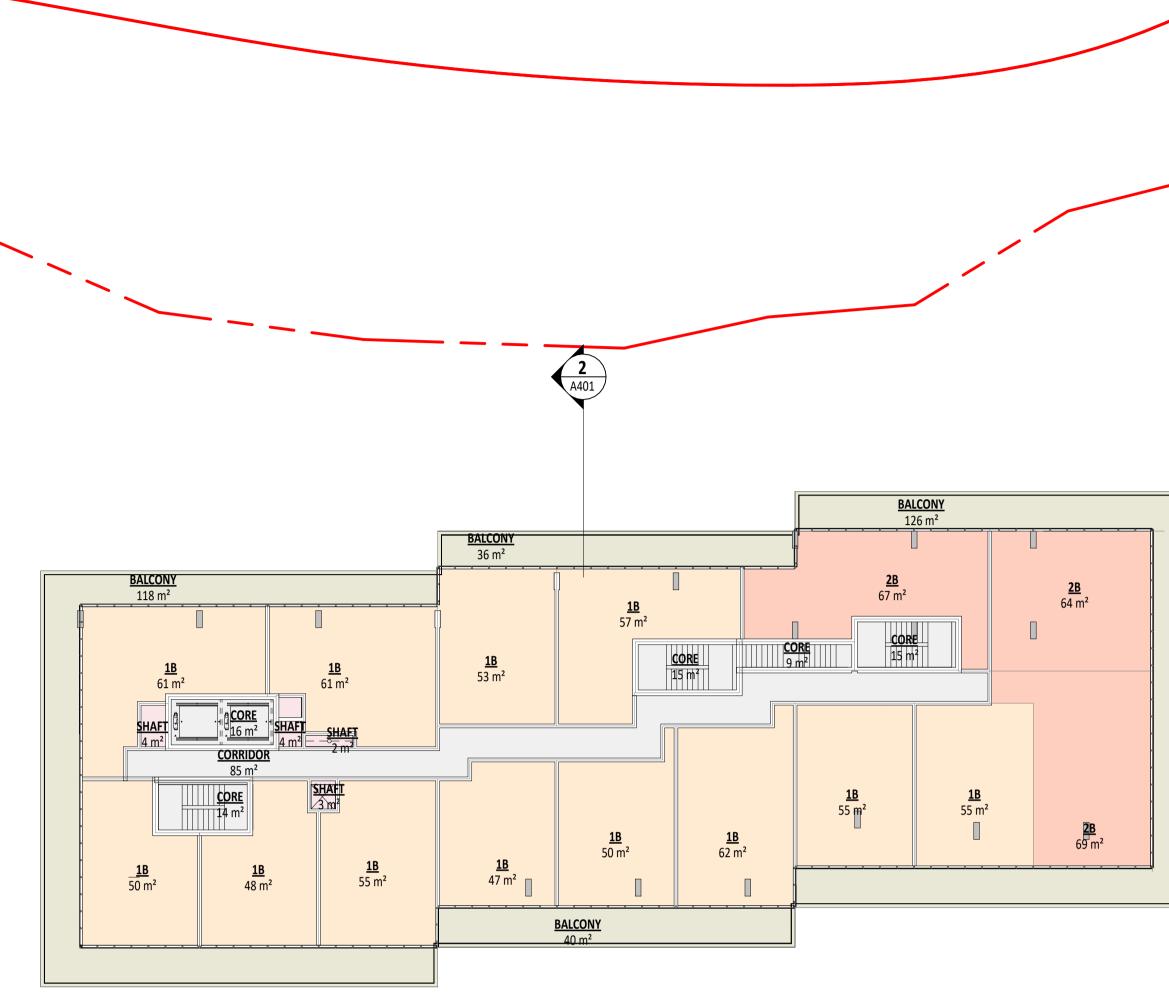
1 Level 7 A208 1:200

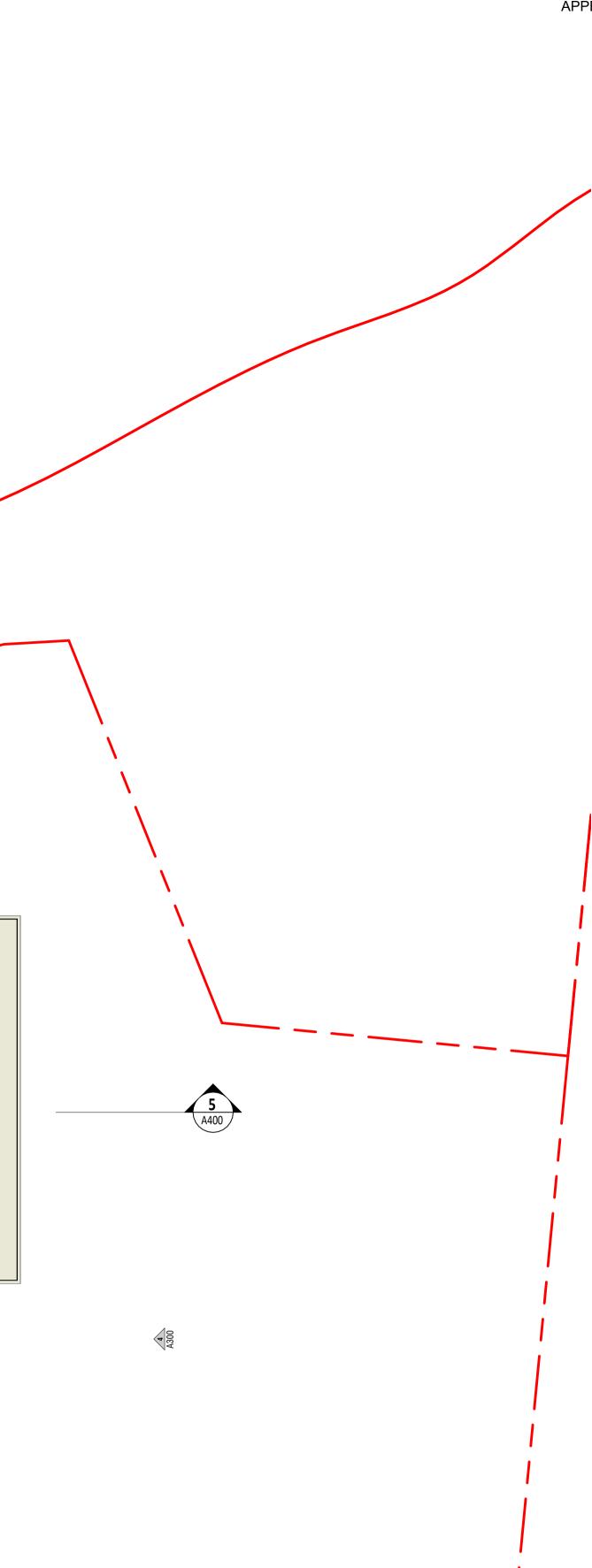
			1 A401	
	BALCONY 40 m²			
	2B           59 m²           1B           50 m²	<u>1B</u> 50 m <sup>2</sup>	$\frac{BALCONY}{125/m^2}$ $\frac{2B}{64 m^2}$ $\frac{2B}{66 m^2}$	
<u>1B</u> 48 m <sup>2</sup>	<u>1B</u> 51 m <sup>2</sup> <u>1B</u> 51 m <sup>2</sup>	<u>1B</u> 47 m <sup>2</sup>	CORE     SHAFT       15 m <sup>2</sup> 3 m <sup>2</sup> CORRIDOR       95 m <sup>2</sup> SHAFT       1 m <sup>2</sup>	A300 2
	BALCONY 40 m <sup>2</sup>		2B     2B       67 m²     56 m²	
<u>18</u> 48 m <sup>2</sup>		1 <u>B</u> 47 m <sup>2</sup>	$\begin{array}{c} \hline CORRIDOR \\ 95 m^2 \\ \hline 1 m^2 \\ \hline 2 m^2 \\ \hline 2 m^2 \\ \hline 2 m^2 \\ \hline 4 m^2 \\ \hline 4 m^2 \\ \hline 4 m^2 \\ \hline 67 m^2 \\ \hline 56 m^2 \\ \hline \end{array}$	

A301 1

HOTEL SUITE - SINGLE 42 m<sup>2</sup> HOTEL SUITE - SINGLE 43 m<sup>2</sup> HOTEL SUITE - DOUBLE HOTEL SUITE - SINGLE <sup>35</sup> m<sup>2</sup> HOTEL SUITE - SINGLE 39 m<sup>2</sup> **<u>¢ORE</u>** 14 m² CORRIDOR 73 m<sup>2</sup> HOTEL SUITE - SINGLE 37 m<sup>2</sup> HOTEL SUITE - DOUBLE 41 m<sup>2</sup> **<u>CORE</u>** 17 m<sup>2</sup> HOTEL SUITE - SINGLE 39 m<sup>2</sup> HOTEL SUITE - DOUBLE 53 m² HOTEL SUITE - DOUBLE 46 m<sup>2</sup> HOTEL SUITE - SINGLE HOTEL SUITE - SINGLE 44 m<sup>2</sup> HOTEL SUITE - DOUBLE 50 m<sup>2</sup> 

> <u>1</u> A300





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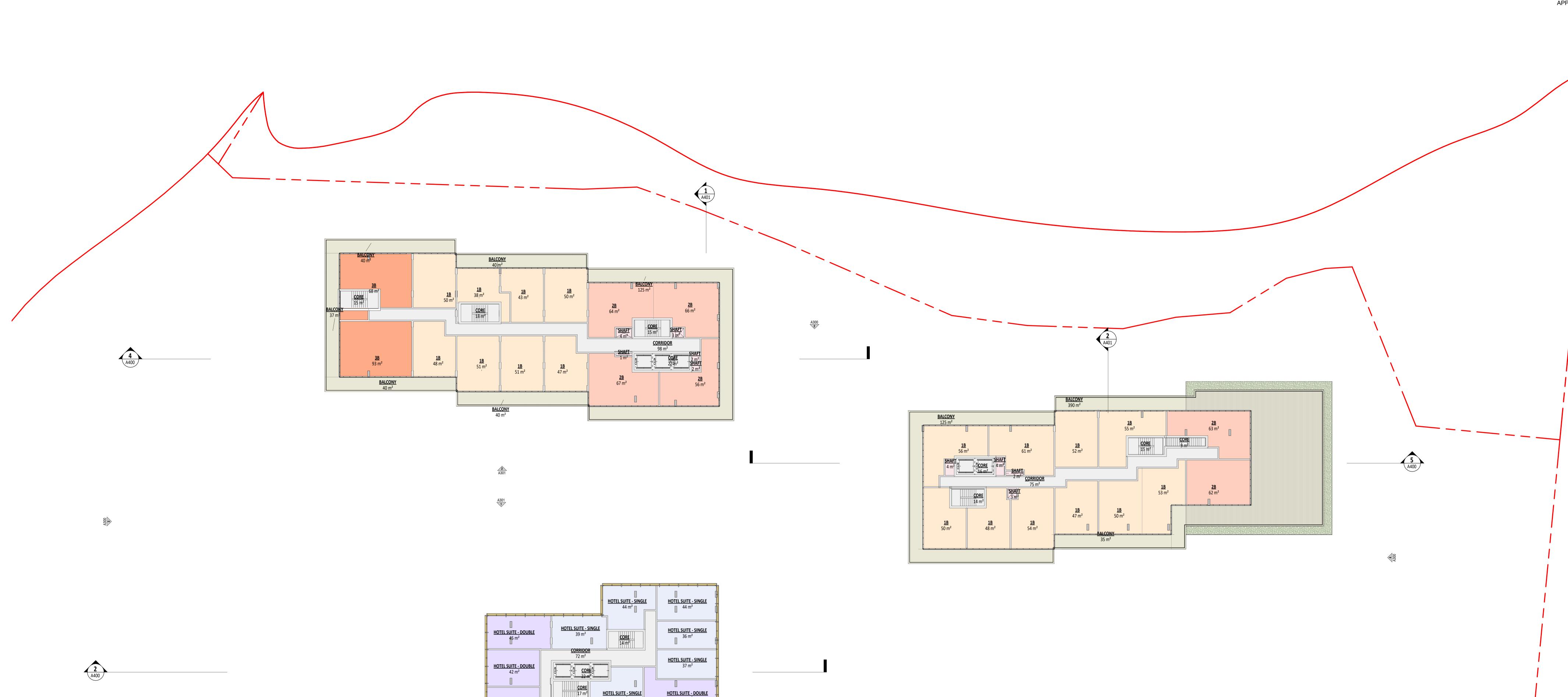
Project North True North

 SCALE
 1 : 200

 PROJECT NO.
 202302

 ISSUE DATE
 SEPT 27, 2024

LEVEL 7



1 BLDG A - Level 8. A209 1:200

	HOTEL SUITE - SINGLE 44 m <sup>2</sup>	HOTEL SUITE - SINGLE 44 m <sup>2</sup>	
HOTEL SUITE - DOUBLE 45 m <sup>2</sup>	HOTEL SUITE - SINGLE 39 m <sup>2</sup> CORE 14 m <sup>2</sup>	HOTEL SUITE - SINGLE 36 m <sup>2</sup>	
HOTEL SUITE - DOUBLE 42 m <sup>2</sup>	CORRIDOR 72 m <sup>2</sup>	HOTEL SUITE - SINGLE 37 m <sup>2</sup>	
HOTEL SUITE - DOUBLE 46 m <sup>2</sup>	HOTEL SUITE - SINGLE 40 m <sup>2</sup>	HOTEL SUITE - DOUBLE 55 m <sup>2</sup>	
BOTEL SUITE - DOUBLE 51 m <sup>2</sup>	HOTEL SUITE - SINGLE 40 m <sup>2</sup> HOTEL SUITE - SINGLE 45 m <sup>2</sup>		

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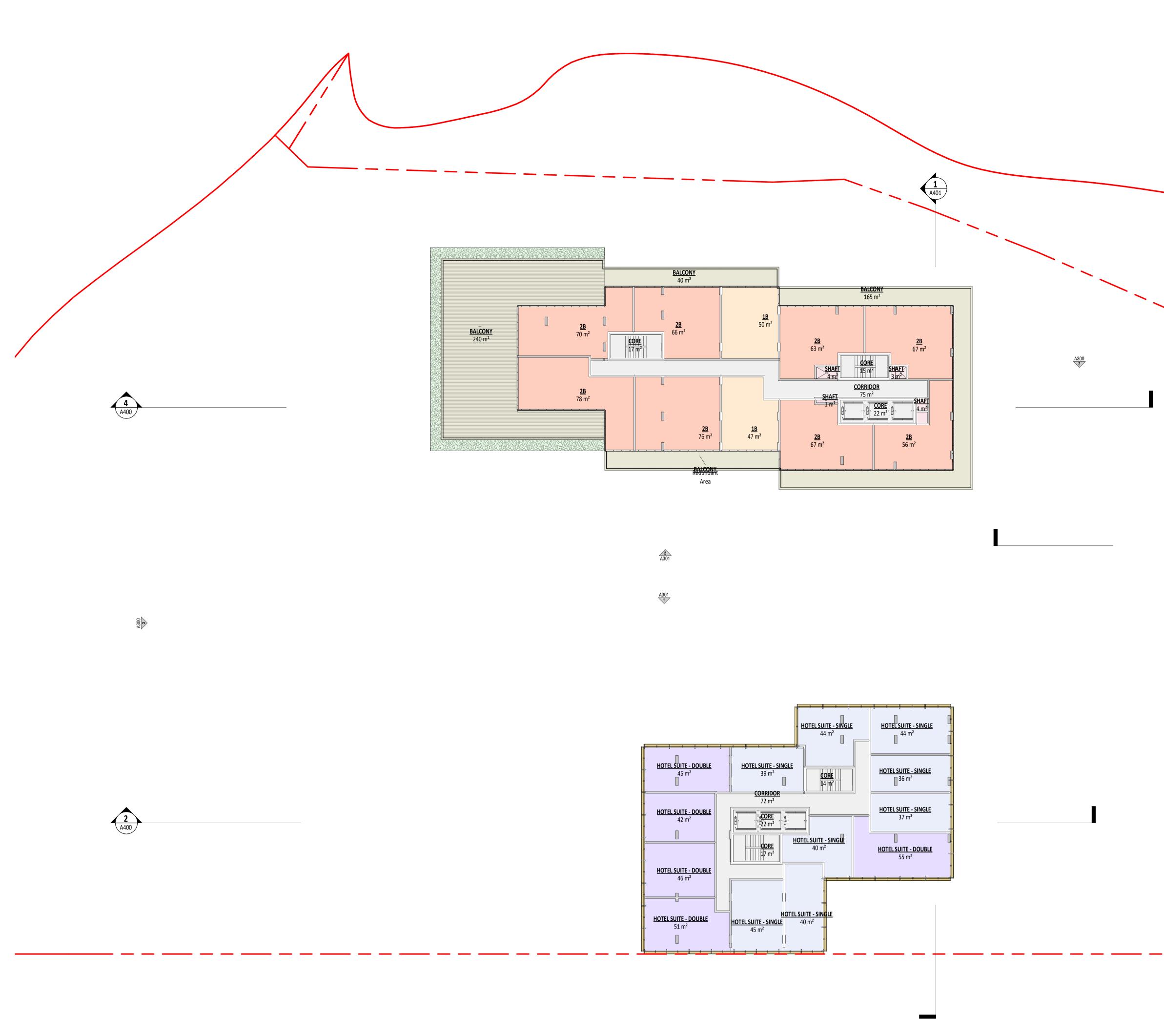
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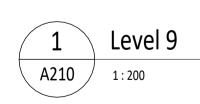
4933 VICTORIA AVENUE NORTH \_\_\_\_\_ \_\_\_\_\_

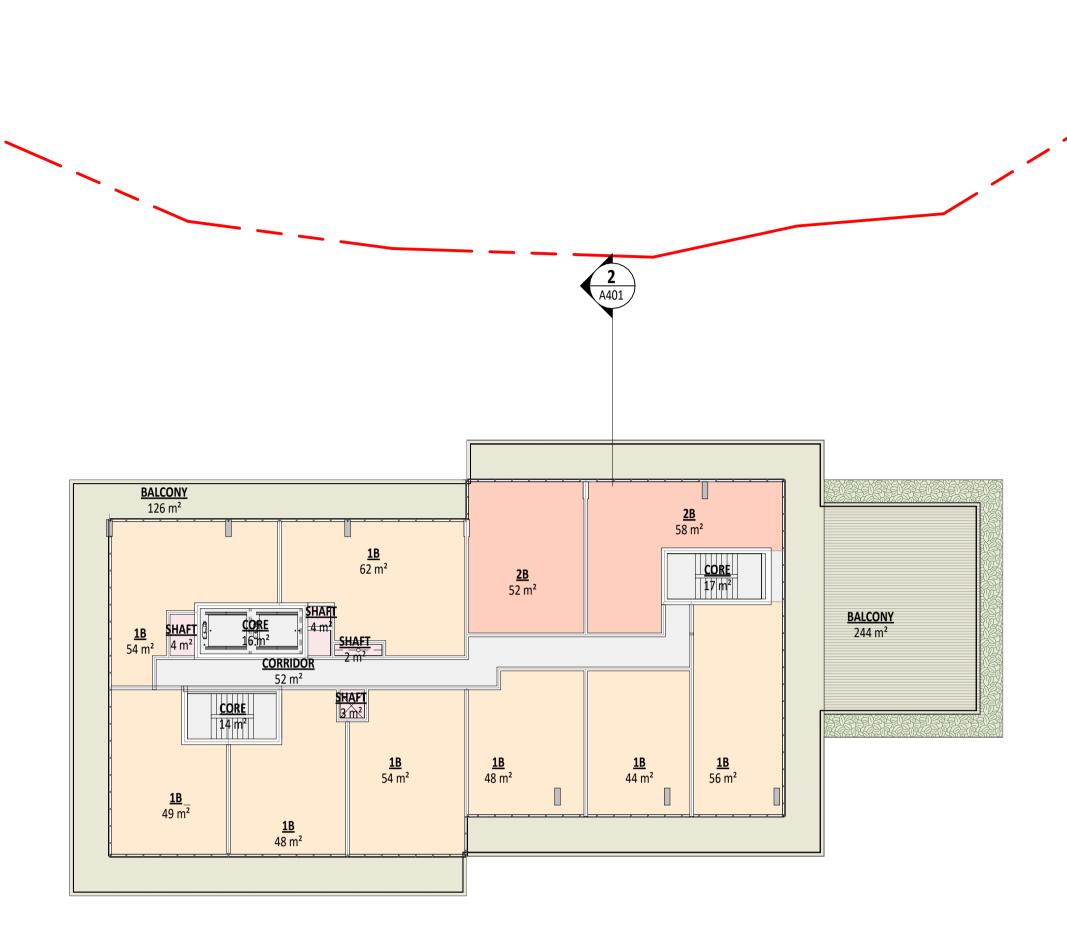
Project North True North

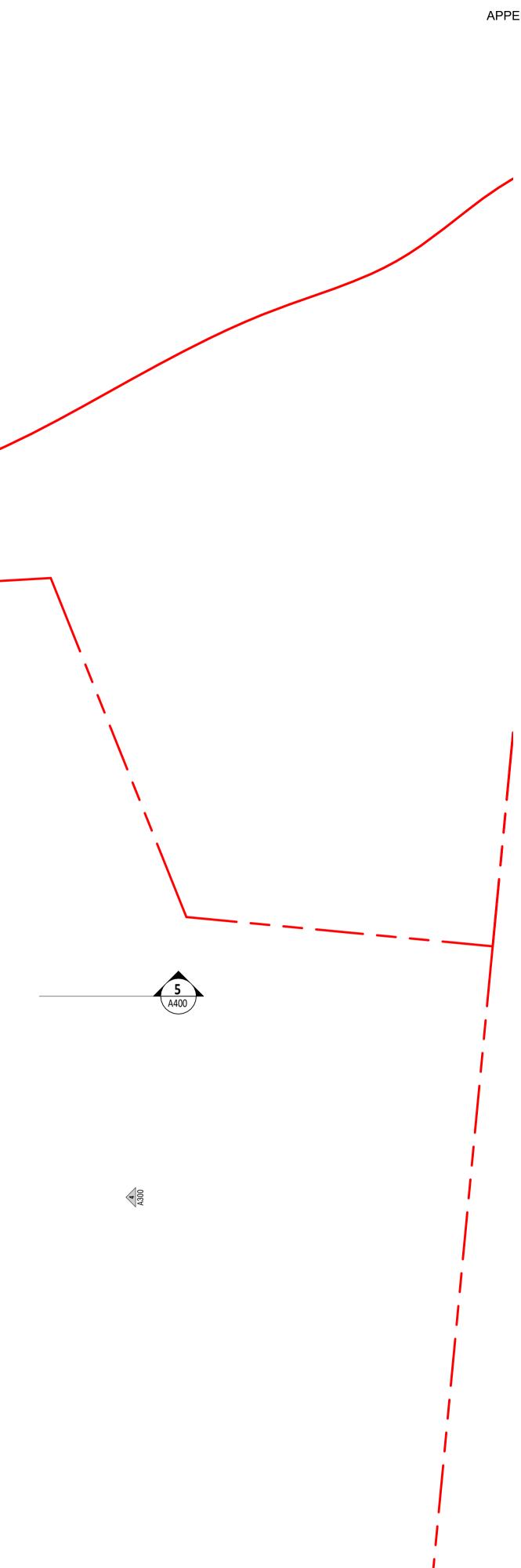
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LEVEL 8









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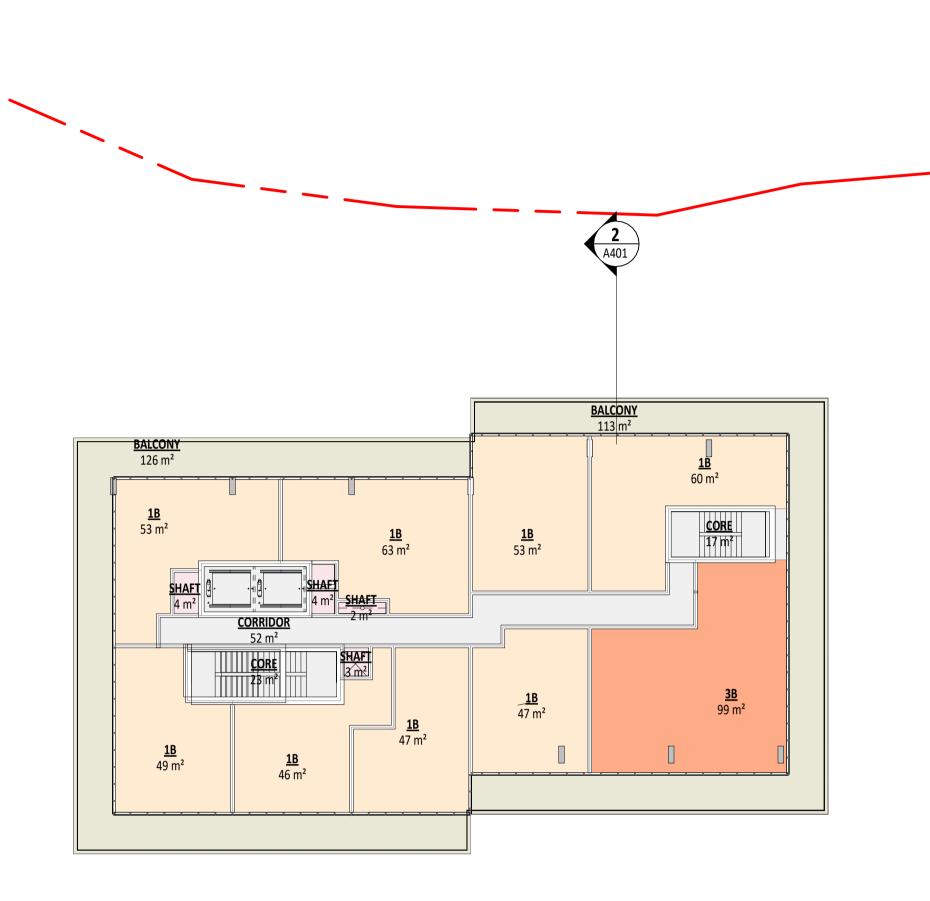
Project North True North

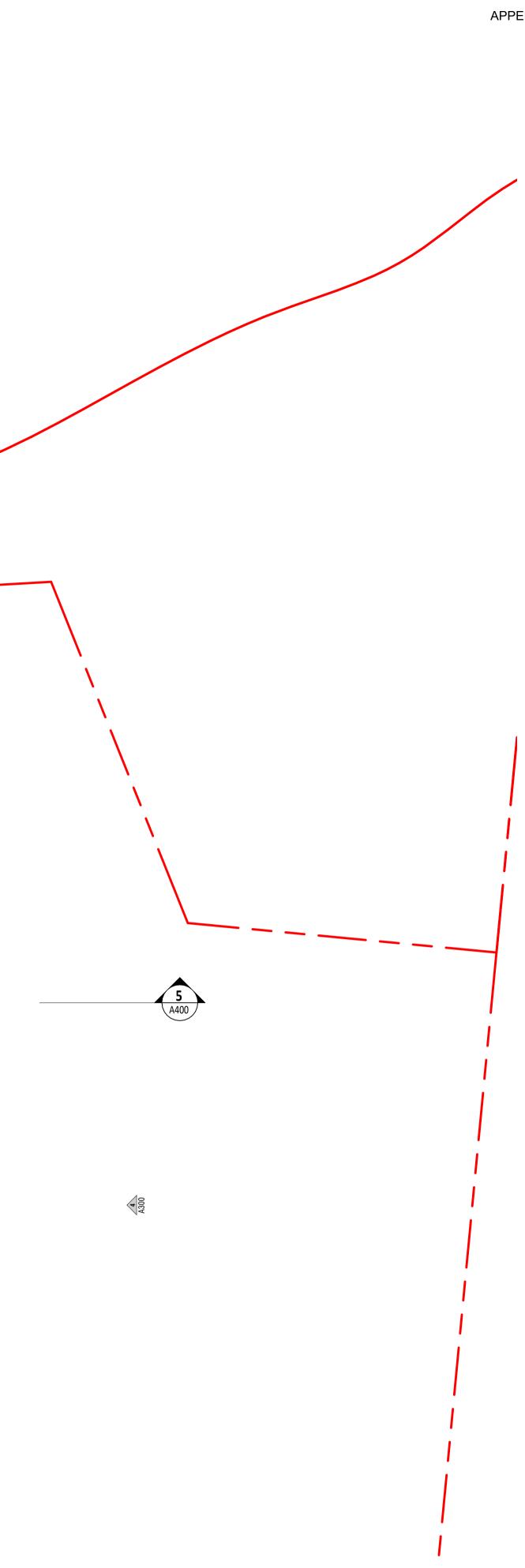
SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

LEVEL 9



	HOTEL SUITE - SINGLE 46 m <sup>2</sup>	HOTEL SUITE - SINGLE	
HOTEL SUITE - DOUBLE 48 m <sup>2</sup>	HOTEL SUITE - SINGLE 41 m <sup>2</sup>	HOTEL SUITE - SINGLE 36 m <sup>2</sup>	
HOTELSUITE DOUBLE Redundant Area	CORRIDOR         CORRIDOR           72 m²         72 m²           CORE         HOTEL SUITE - SINGLE           40 m²         40 m²	HOTEL SUITE - SINGLE 38 m <sup>2</sup>	
Area	HOTEL SUITE - SINGLE HOTEL SUITE - SINGLE	58 m <sup>2</sup>	
HOTEL SUITE - DOUBLE	46 m <sup>2</sup>		





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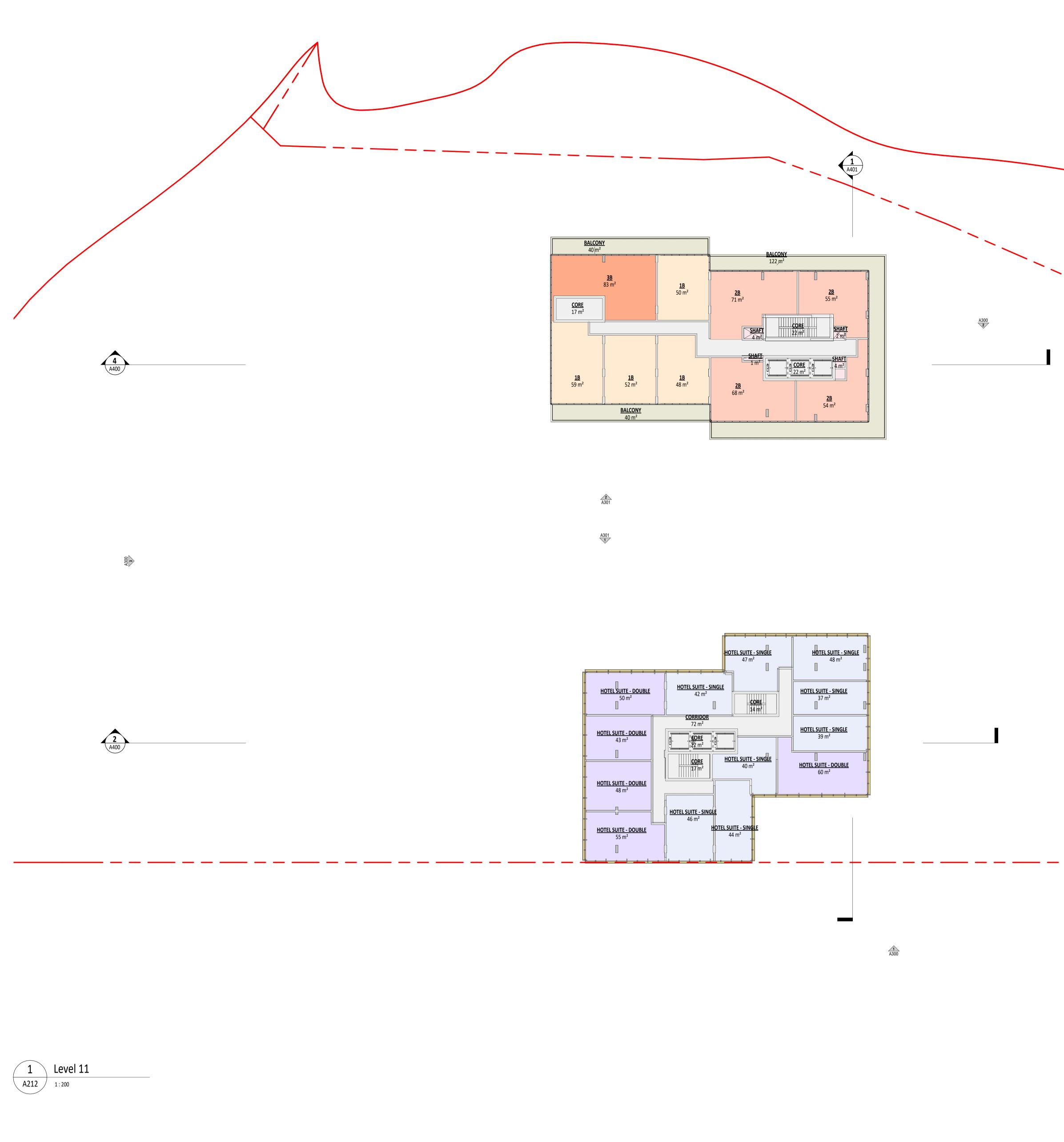
Project North True North

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 PROJECT NO.
 202302

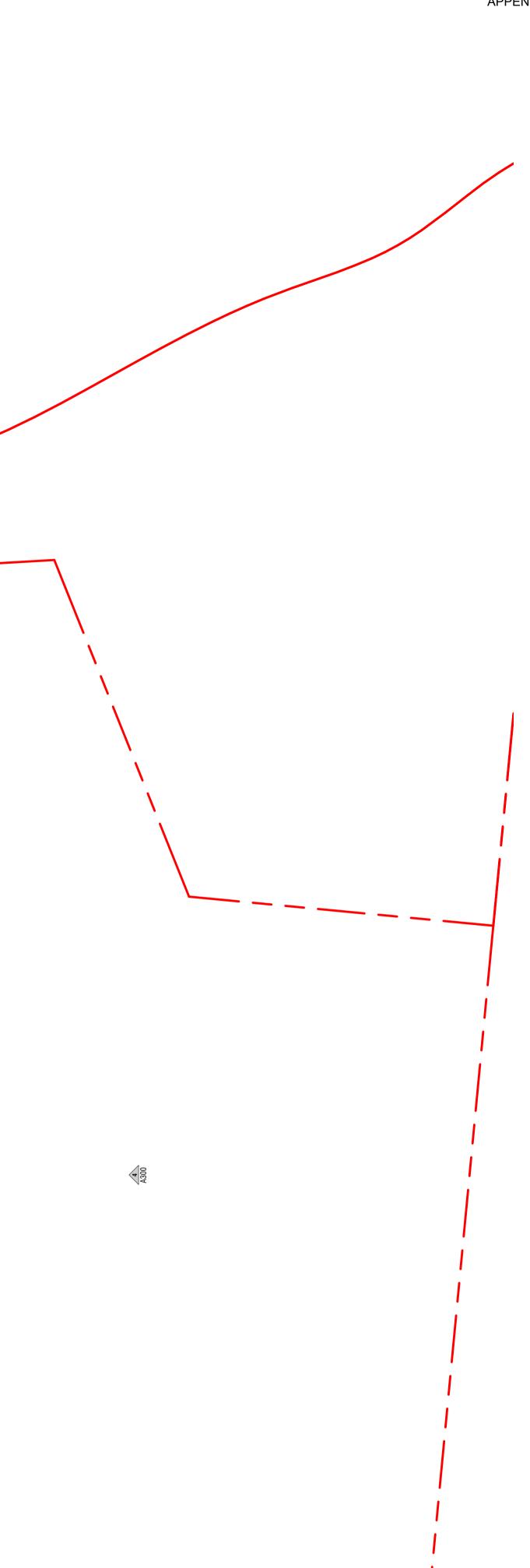
 ISSUE DATE
 SEPT 27, 2024

LEVEL 10



<u> </u>	HOTEL SUITE - SINGLE 47 m <sup>2</sup>	HOTEL SUITE - SINGLE 48 m <sup>2</sup>
HOTEL SUITE - DOUBLE	HOTEL SUITE - SINGLE	HOTEL SUITE - SINGLE
50 m <sup>2</sup>	42 m <sup>2</sup>	37 m <sup>2</sup>
HOTEL SUITE - DOUBLE	CORRIDOR	HOTEL SUITE - SINGLE
43 m <sup>2</sup>	72 m <sup>2</sup>	39 m <sup>2</sup>
HOTEL SUITE - DOUBLE	HOTEL SUITE - SINGLE	HOTEL SUITE - DOUBLE
48 m <sup>2</sup>	40 m <sup>2</sup>	60 m <sup>2</sup>
HOTEL SUITE - DOUBLE 55 m <sup>2</sup>	HOTEL SUITE - SINGLE 46 m <sup>2</sup> HOTEL SUITE - SINGLE 44 m <sup>2</sup>	

	2 A401		
$\frac{1B}{55 \text{ m}^{2l}}$ $\frac{1B}{53 \text{ m}^{2}}$ $\frac{1B}{53 \text{ m}^{2}}$ $\frac{1B}{53 \text{ m}^{2}}$ $\frac{1B}{53 \text{ m}^{2}}$			
SHAFT 4 m <sup>2</sup> CORRIDOR 29 m <sup>2</sup> CORRIDOR 29 m <sup>2</sup> SHAFT 2 m <sup>2</sup>	A400 3B 77 m <sup>2</sup>	BALCONY 422 m <sup>2</sup>	



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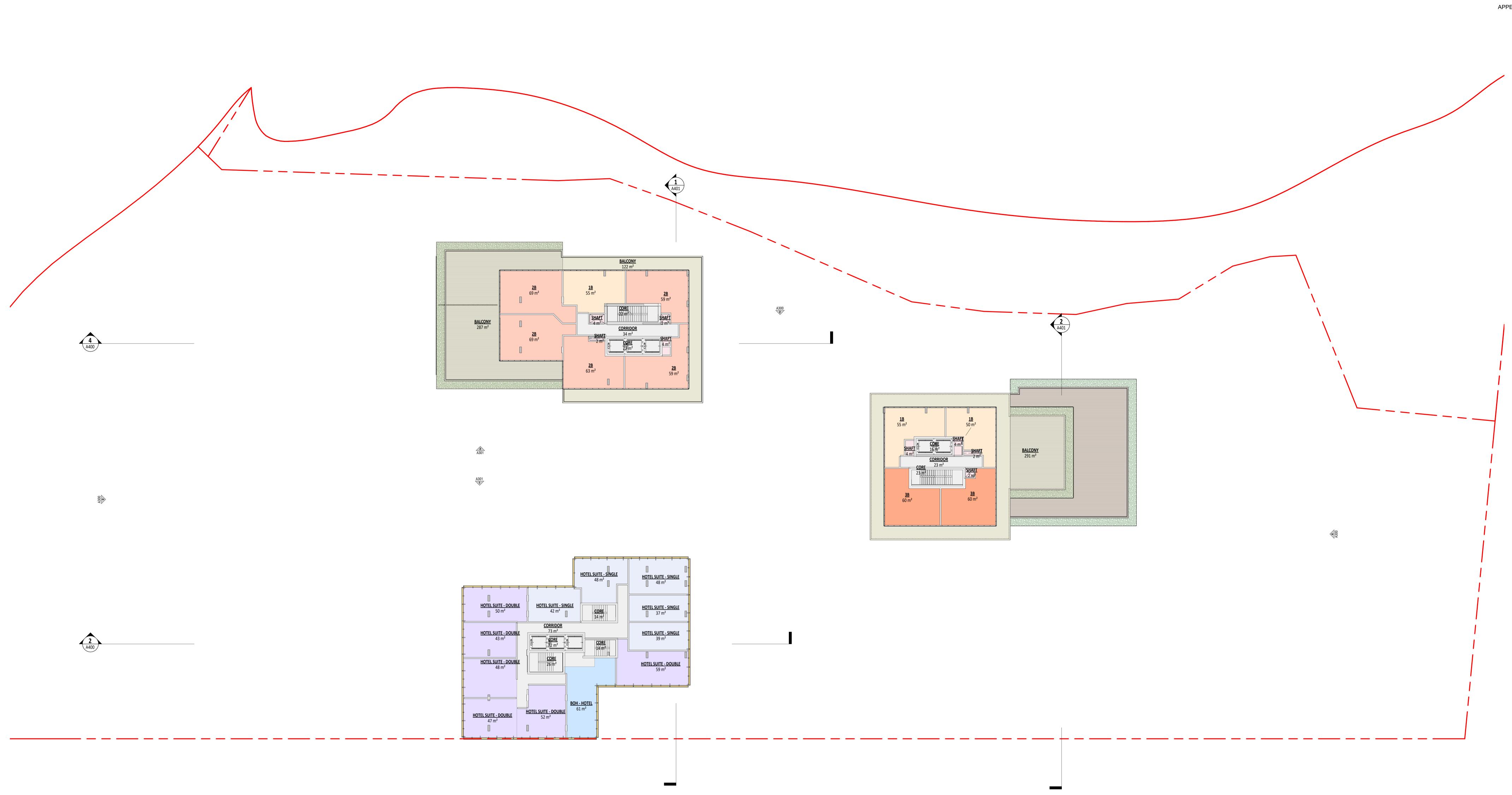
Project North True North

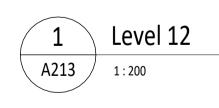
 SCALE
 1 : 200

 PROJECT NO.
 202302

 ISSUE DATE
 SEPT 27, 2024

LEVEL 11





HOTEL SUITE - SINGLE 48 m <sup>2</sup>	HOTEL SUITE - SINGLE
HOTEL SUITE - DOUBLE 50 m <sup>2</sup> HOTEL SUITE - SINGLE 42 m <sup>2</sup> L L L L L L L L L L L L L	HOTEL SUITE - SINGLE 37 m <sup>2</sup>
HOTEL SUITE - DOUBLE 43 m <sup>2</sup> HOTEL SUITE - DOUBLE 48 m <sup>2</sup> HOTEL SUITE - DOUBLE 48 m <sup>2</sup> HOTEL SUITE - DOUBLE	HOTEL SUITE - SINGLE 39 m <sup>2</sup>
HOTEL SUITE - DOUBLE 47 m <sup>2</sup> BOH - HOTEL 52 m <sup>2</sup>	

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gh3

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\_\_\_\_\_ Globizen **PROJECT BENCH** 

4933 VICTORIA AVENUE NORTH \_\_\_\_\_ 

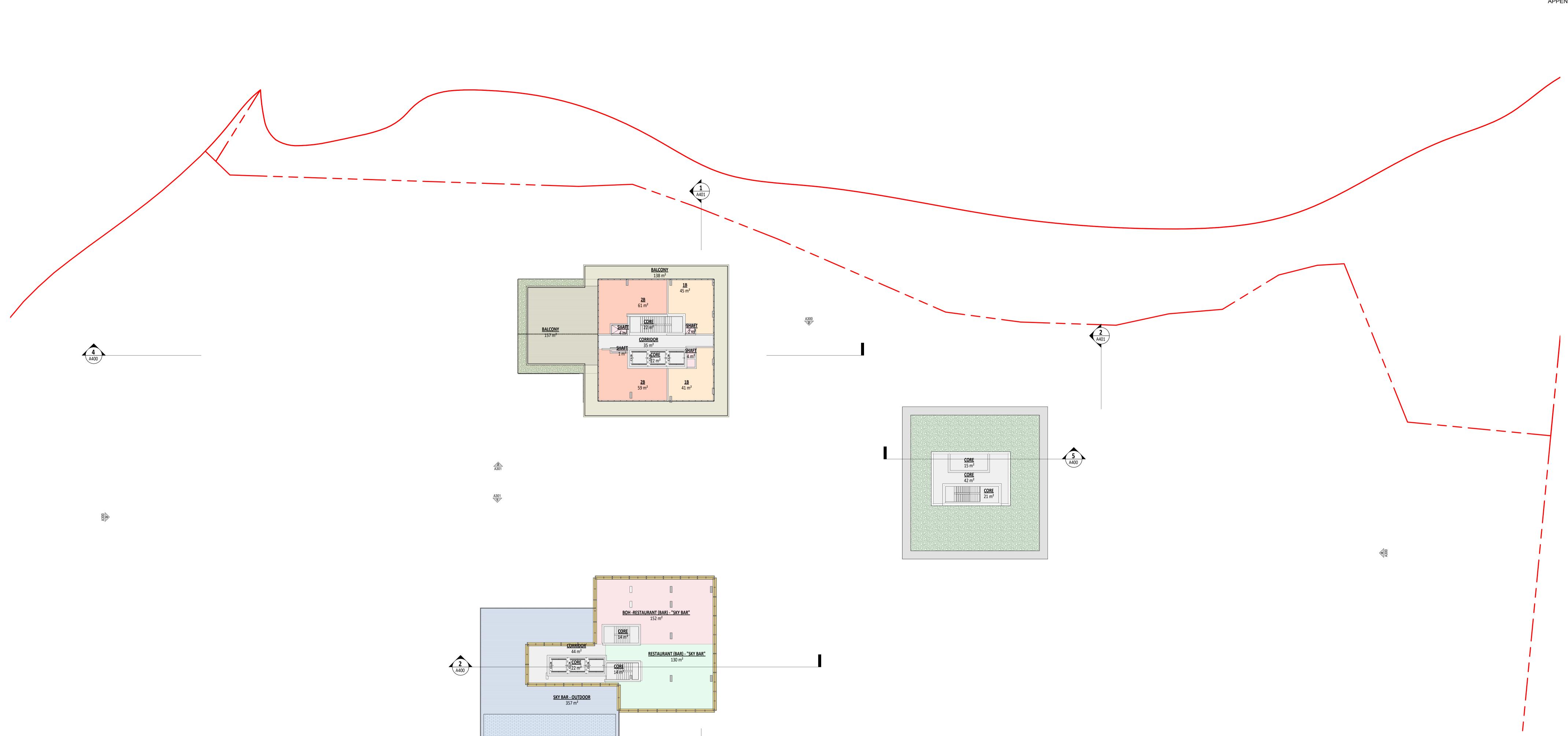
Project North True North

 SCALE
 1 : 200

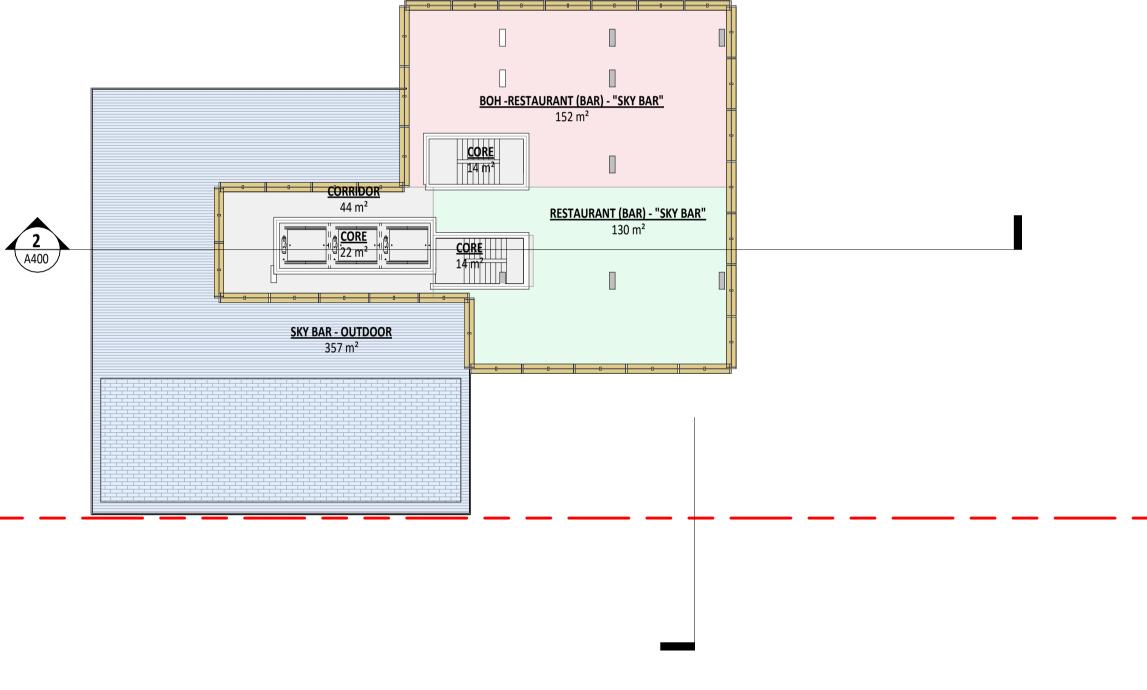
 PROJECT NO.
 202302

 ISSUE DATE
 SEPT 27, 2024

LEVEL 12



1 Level 13 A214 1:200



## APPENDIX A OF REPORT PD-41-24

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Project North True North

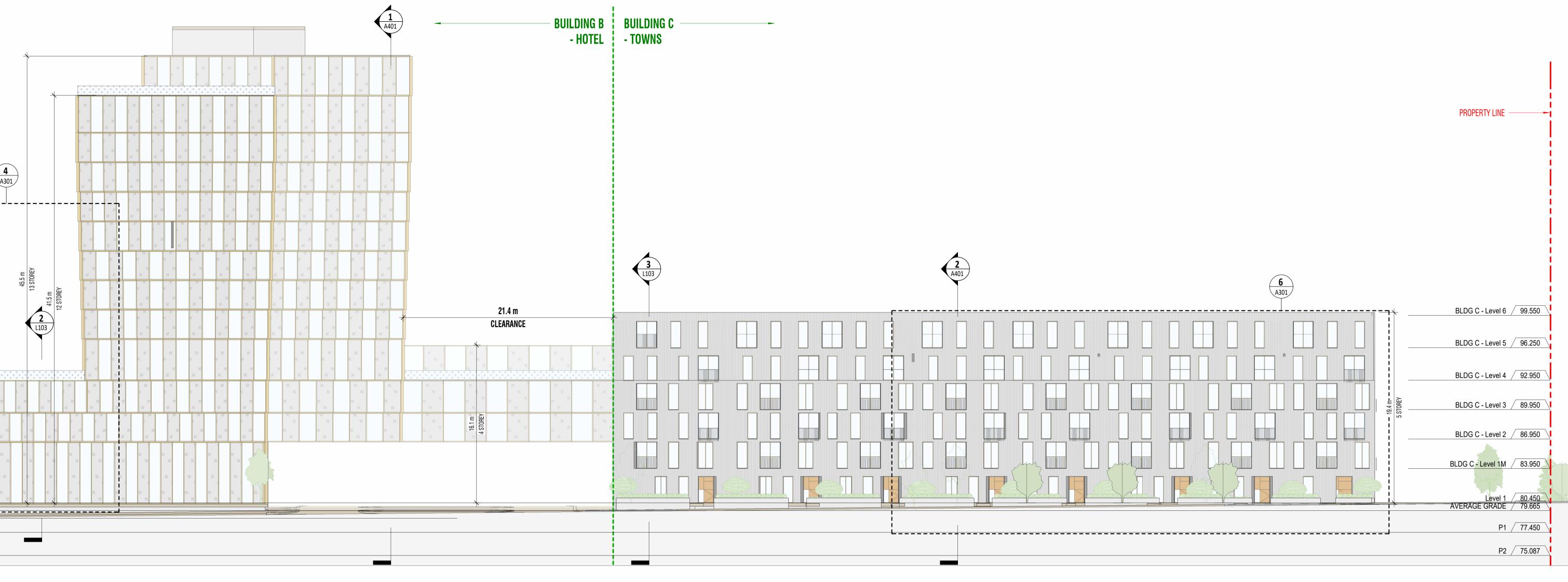
 SCALE
 1 : 200

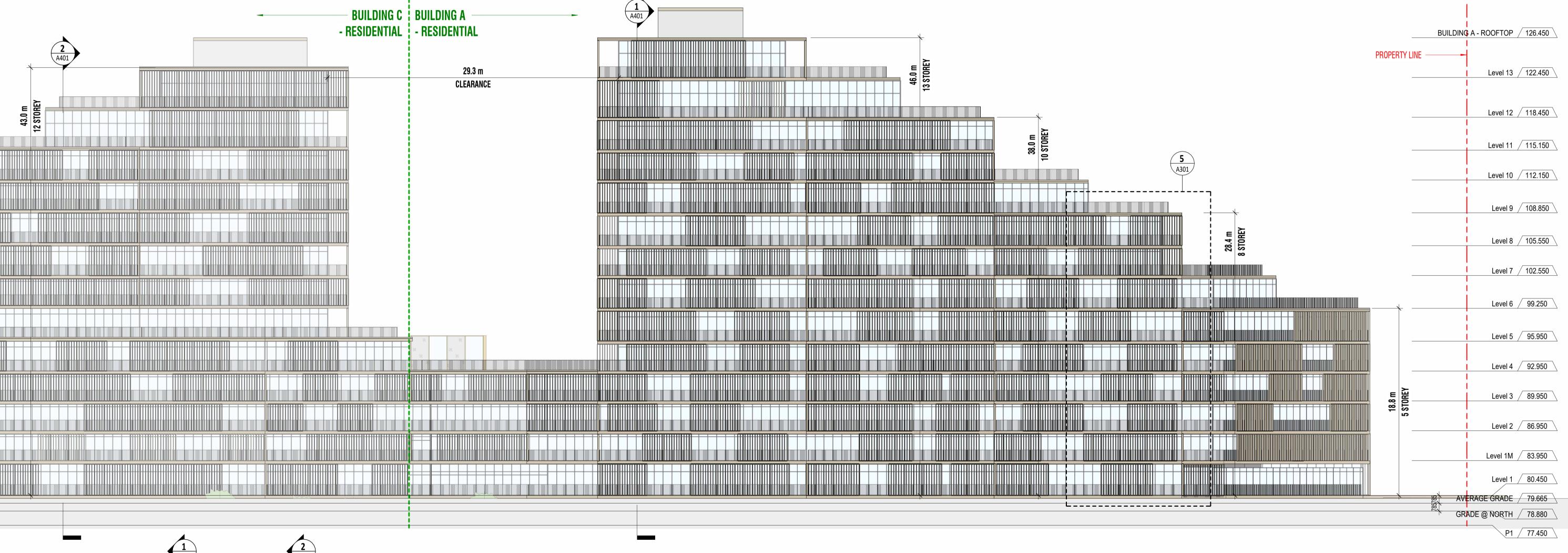
 PROJECT NO.
 202302

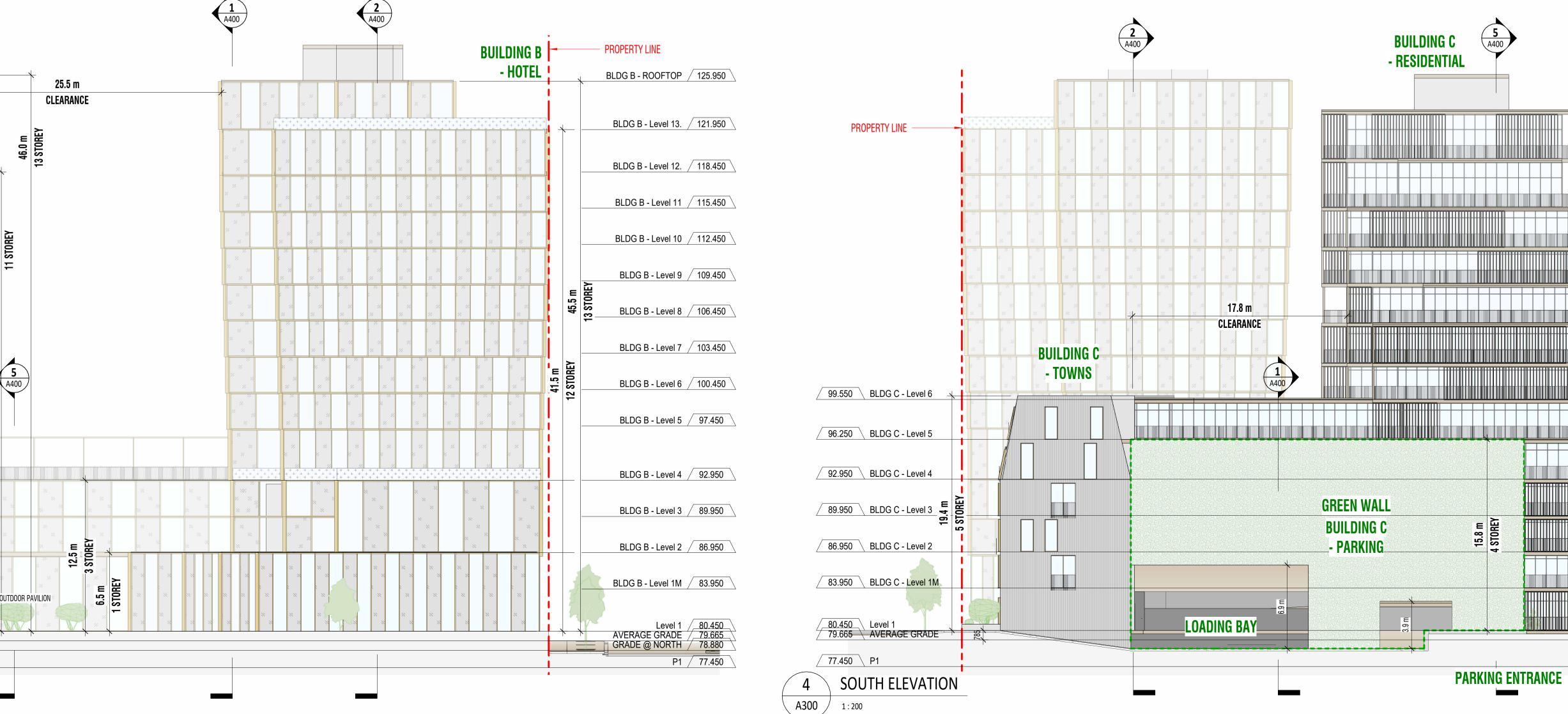
 ISSUE DATE
 SEPT 27, 2024

LEVEL 13

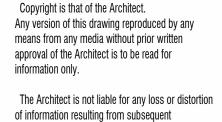
125.950 BLDG B - ROOFTOP		
121.950 BLDG B - Level 13.		
✓ 118.450 BLDG B - Level 12.		
115.450 BLDG B - Level 11		
✓ 112.450 BLDG B - Level 10		
109.450 BLDG B - Level 9		<b></b>
✓ 106.450   BLDG B - Level 8		
103.450 BLDG B - Level 7		
100.450 BLDG B - Level 6		
97.450 BLDG B - Level 5		
92.950 BLDG B - Level 4		
89.950 BLDG B - Level 3		
86.950       BLDG B - Level 2         80.450       Level 1         79.665       AVERAGE GRADE         78.880       GRADE @ NORTH         77.450       P1	+78.88	
75.087 P2		
1 WEST ELEVATIO A300 1:200	N	
	123.450 BLDG C - ROOFTOP	
	119.450 BLDG C - Level 12	
	115.450 BLDG C - Level 11	
	112.150 BLDG C - Level 10	35.0 m 35.0 m 10 STOREY
	109.150 BLDG C - Level 9	
	105.850 BLDG C - Level 8	
	102.550 BLDG C - Level 7	
	99.550 BLDG C - Level 6	25.4 m
	96.250 BLDG C - Level 5	
	92.950 BLDG C - Level 4	
	89.950 BLDG C - Level 3	
	86.950 BLDG C - Level 2	
	83.950 BLDG C - Level 1M	
	80.450 Level 1 79.665 AVERAGE GRADE	
	77.450 P1	
2 EAST ELEVATION	<u> </u>	
	126.450 BUILDING A - ROOFTO	BUILDING C - RESIDENTIAL
	122.450 Level 13	
	118.450 Level 12	
	115.150 Level 11	
	112.150 Level 10	39.03 39.03 39.03
	108.850 Level 9	
	105.550 Level 8	
	102.550 Level 7	
	99.250 Level 6	
	95.950 Level 5	28.4 m
	92.950 Level 4	
	89.950 Level 3	5 STOREV
	86.950 Level 2 83.950 Level 1M	
	<u>80.450</u> Level 1	











reproduction of the original drawing. GENERAL NOTES: 1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work. 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents

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of finished surfaces unless otherwise noted.

<b>4</b> A400	
	BLDG C - ROOFTOP / 123.450
	BLDG C - Level 12 / 119.450
	BLDG C - Level 11 115.450
	BLDG C - Level 10 / 112.150
	BLDG C - Level 9 109.150
	BLDG C - Level 8 105.850
	BLDG C - Level 7 102.550
	BLDG C - Level 6 99.550
	BLDG C - Level 5 96.250
	BLDG C - Level 4 92.950
	BLDG C - Level 3 89.950
	BLDG C - Level 2 86.950
	BLDG C - Level 1M / 83.950
	Level 1 80.450
	P1 77.450

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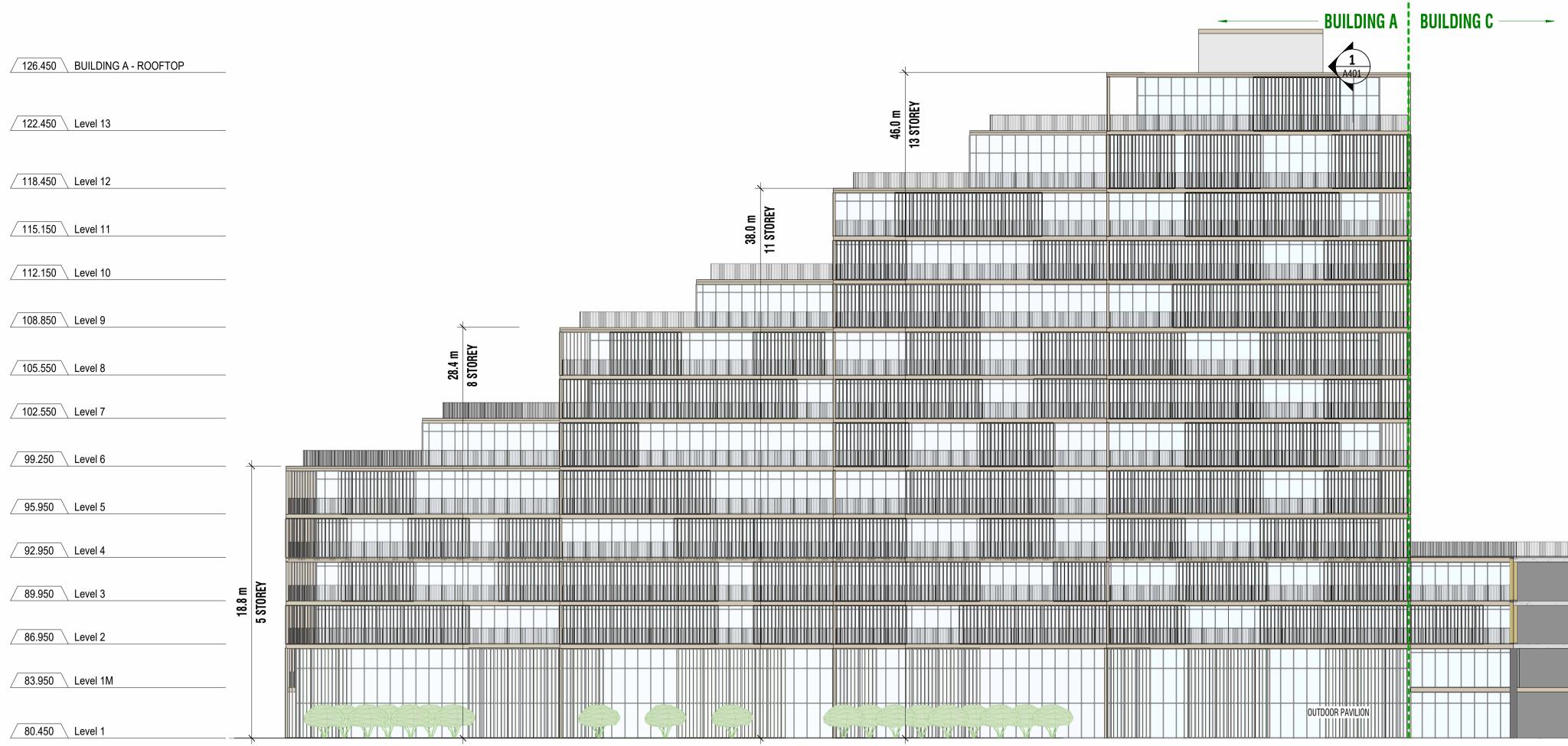
Globizen **PROJECT BENCH** 

4933 VICTORIA AVENUE NORTH

Project North True North

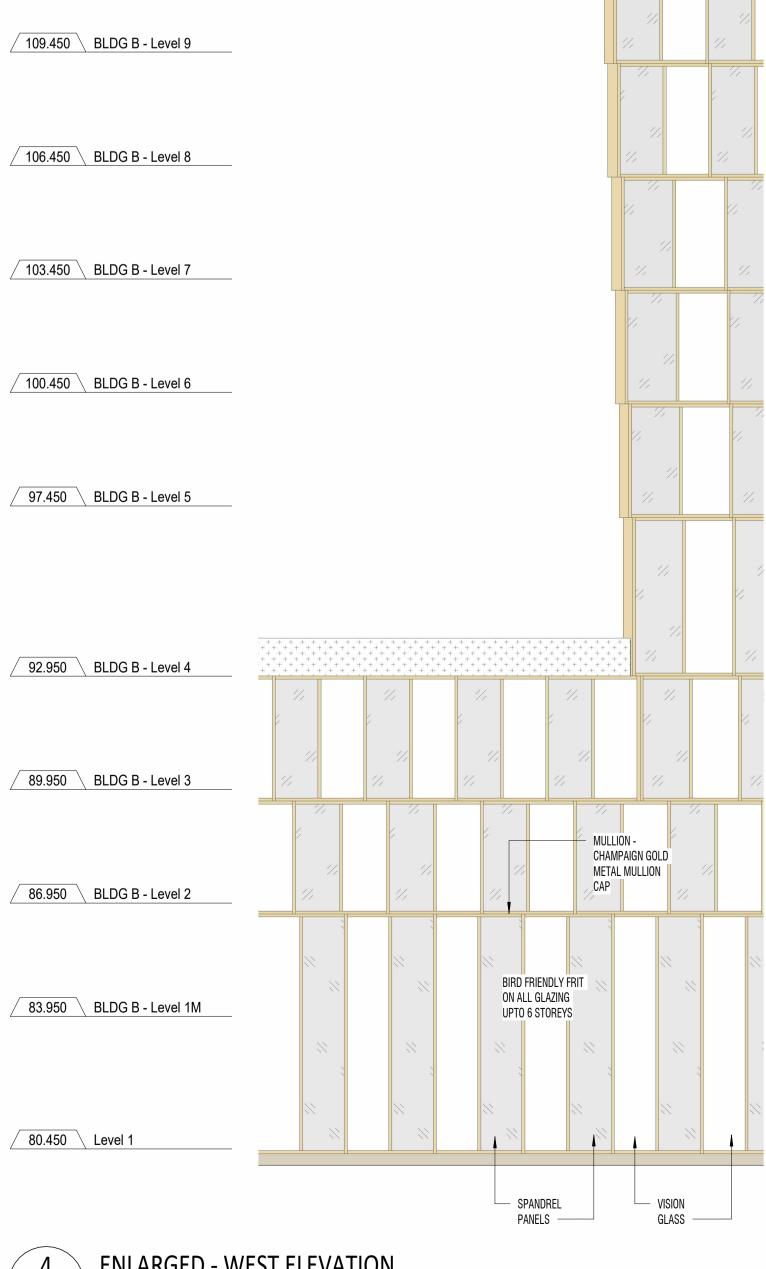
SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

ELEVATIONS



2 WEST ELEVATION - COURTYARD - BUILDING A A301 1:200

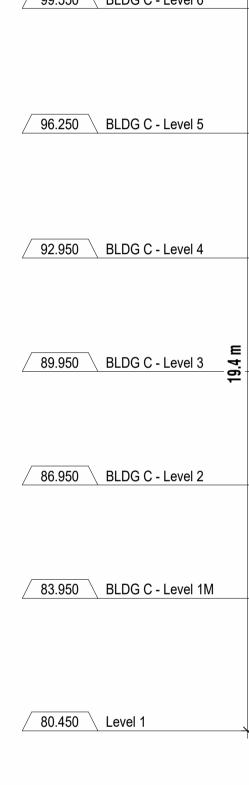




108.850	Level
105.550	Level
102.550	Level
99.250	Level
95.950	Level
92.950	Level
89.950	
86.950	Level
83.950	Level



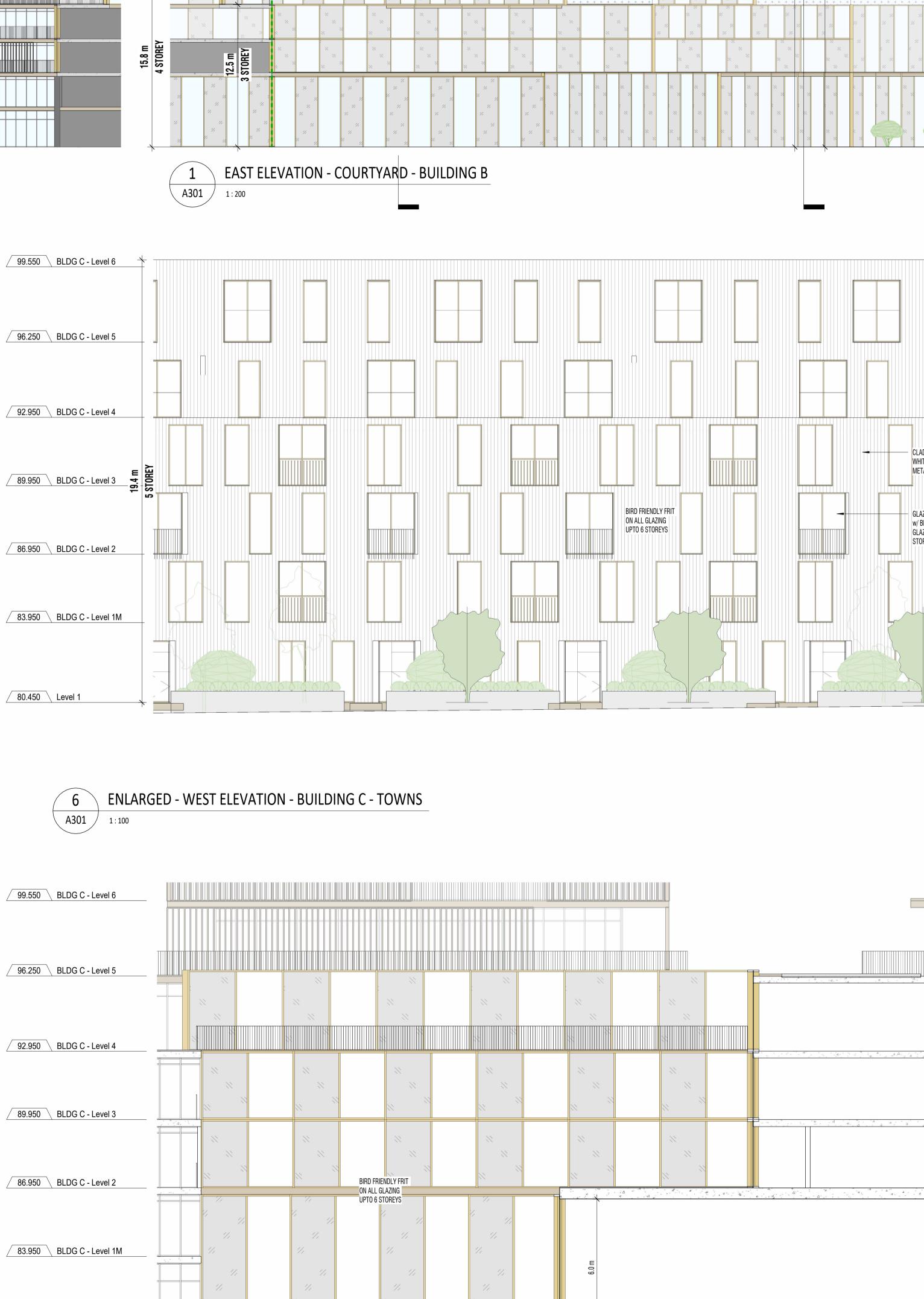


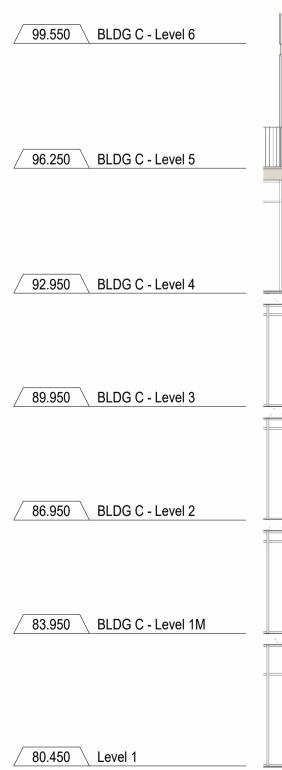


------ BUILDING A BUILDING B

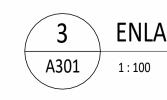
41.5 m 12 STORE



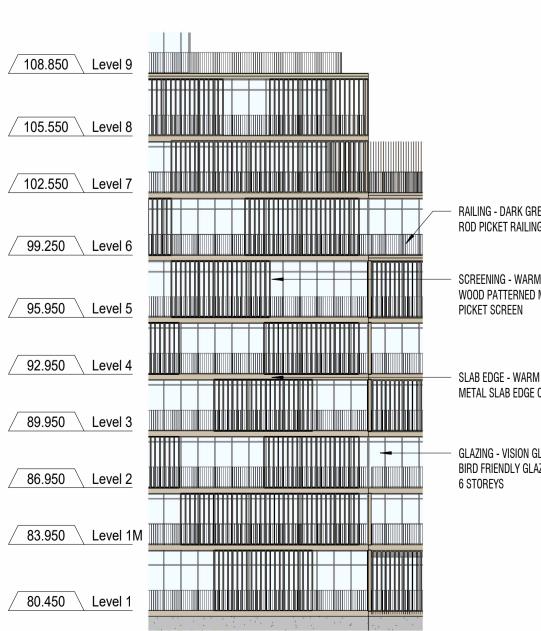












5 ENLARGED - EAST ELEVATION A301 1:200

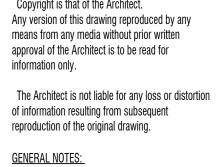
### RAILING - DARK GREY METAL ROD PICKET RAILING SCREENING - WARM BROWN WOOD PATTERNED METAL

- SLAB EDGE - WARM BROWN METAL SLAB EDGE CAP

GLAZING - VISION GLASS w/ BIRD FRIENDLY GLAZING UPTO 6 STOREYS

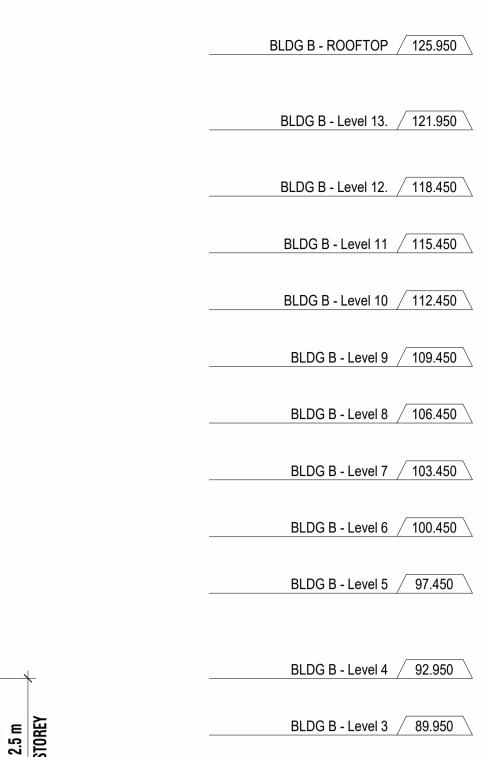
3 ENLARGED - NORTH ELEVATION - PLAZA BUILDING C

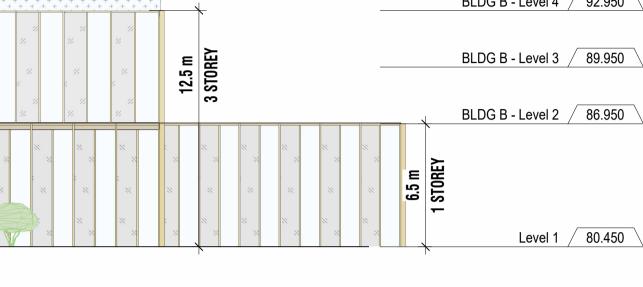
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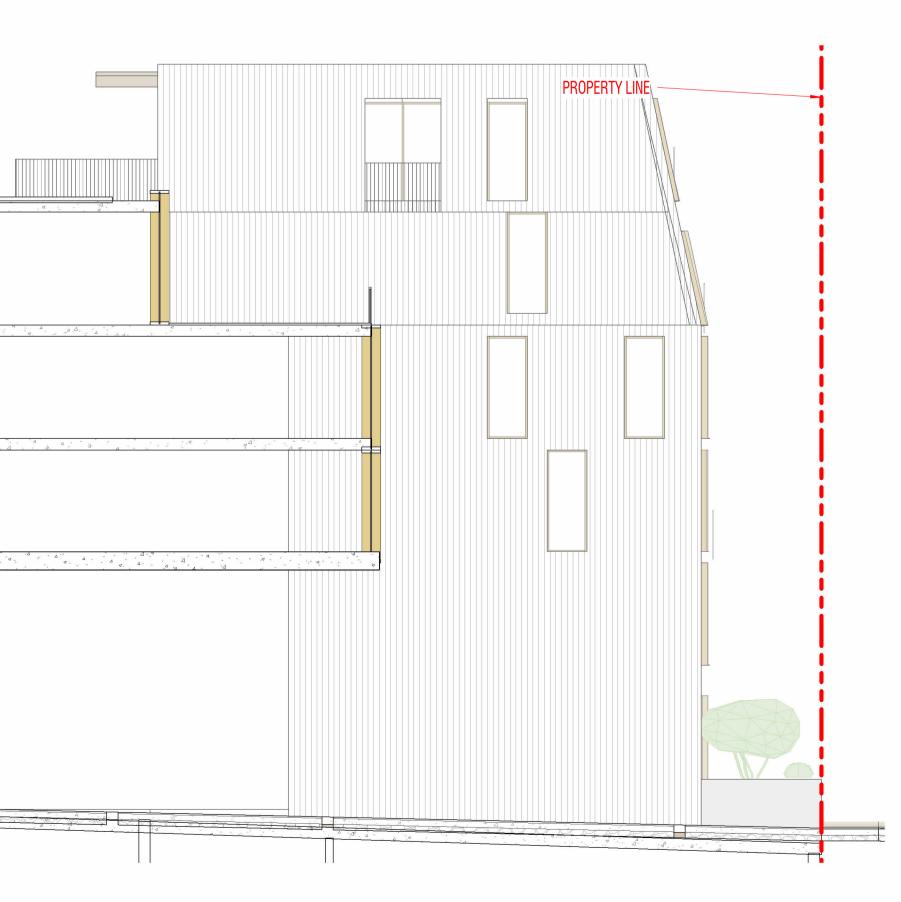
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# A301

SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

COURTYARD

ELEVATIONS

4933 VICTORIA AVENUE NORTH

3 2024/09/30 RE-ISSUED FOR ZBA

1 2024/02/37 ISSUED FOR ZBA

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416 915 1791

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**PROJECT BENCH** 

55 OSSINGTON AVE, SUITE 100

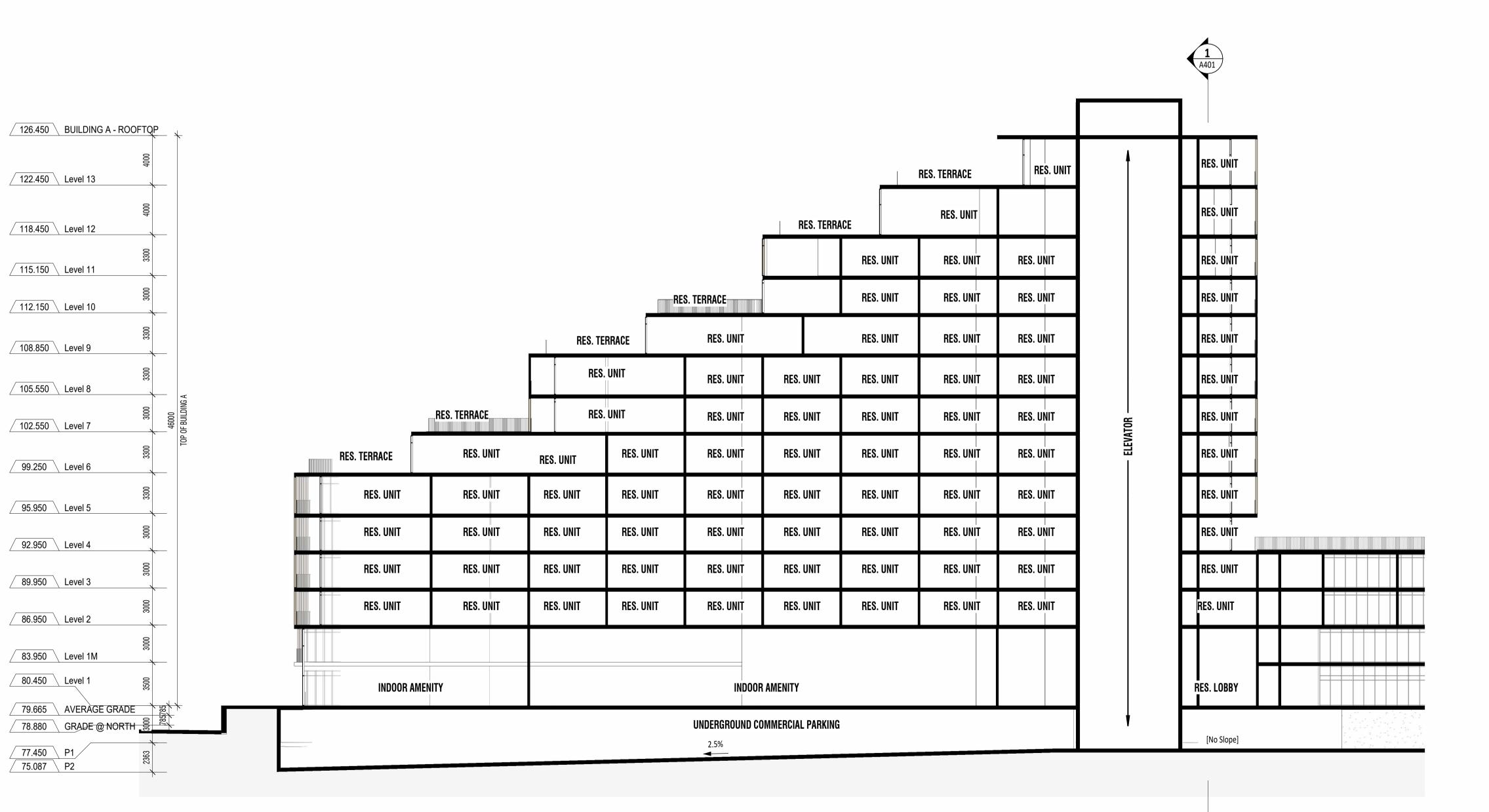
Toronto, ON, Canada M6J 2Y9

2 2024/04/26 RE-ISSUED FOR ZBA

Project North True North



2 BUILDING B - SECTION A400 1:200

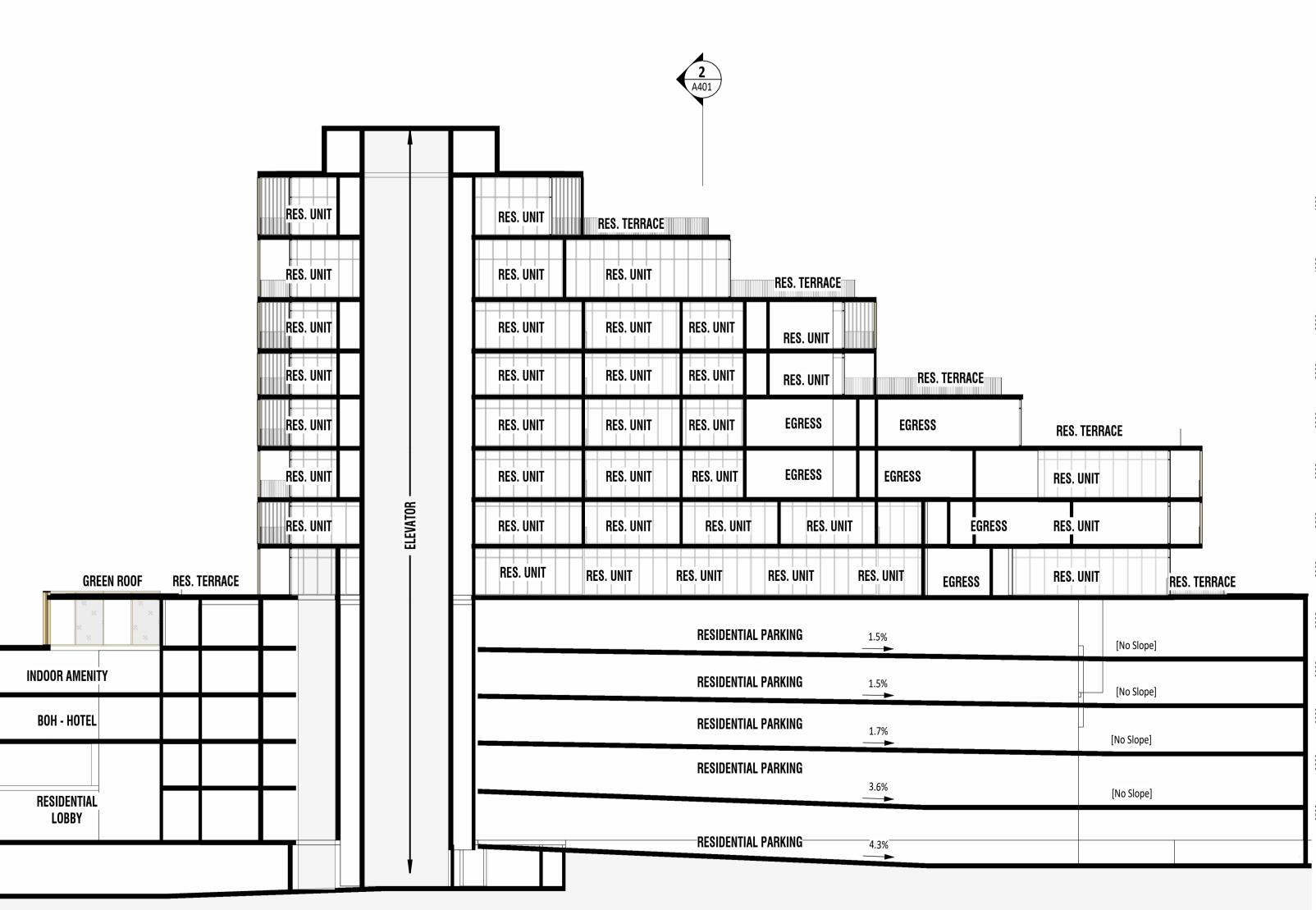


4 BUILDING A - SECTION A400 1:200

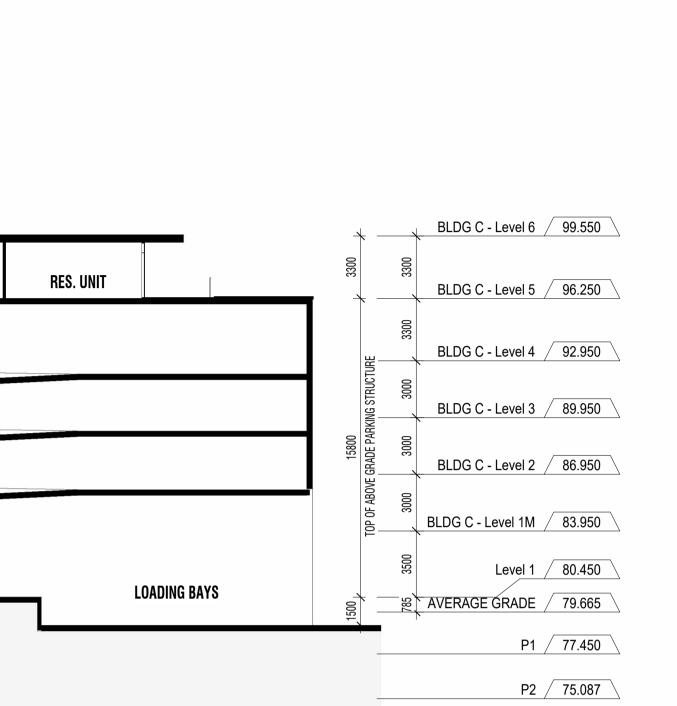


<u>_</u>			GREEN ROOF RES. TERRACE RES. UNIT	
SPA	[No Slope]	1.9%	RESIDENTIAL PARKING	
INDOOR AMENITY	[No Slope]	4.9%	RESIDENTIAL PARKING	
BOH - HOTEL	[No Slope]	4.9%	RESIDENTIAL PARKING	
	[No Slope]	4.7%	RESIDENTIAL PARKING	
RESIDENTIAL LOBBY	[No Slope]	4.9%	RESIDENTIAL PARKING	
		4.3%	ACCESS TO VISITOR PARKING	









+ <sup>₿</sup>	LDG C - ROOFTOP / 123.450
)0 + 4000	BLDG C - Level 12 / 119.450
4000	BLDG C - Level 11 / 115.450
+ 3300	BLDG C - Level 10 / 112.150
4 3000	BLDG C - Level 9 / 109.150
4 3300	BLDG C - Level 8 / 105.850
3300	BLDG C - Level 7 / 102.550
3000	BLDG C - Level 6 99.550
3300	BLDG C - Level 5 96.250
+ 3300	BLDG C - Level 4 92.950
× 3000	BLDG C - Level 3 89.950
3000	BLDG C - Level 2 86.950
× 3000	BLDG C - Level 1M 83.950
3500	Level 1 80.450
+	AVERAGE GRADE 79.665
	P1 77.450 P2 75.087

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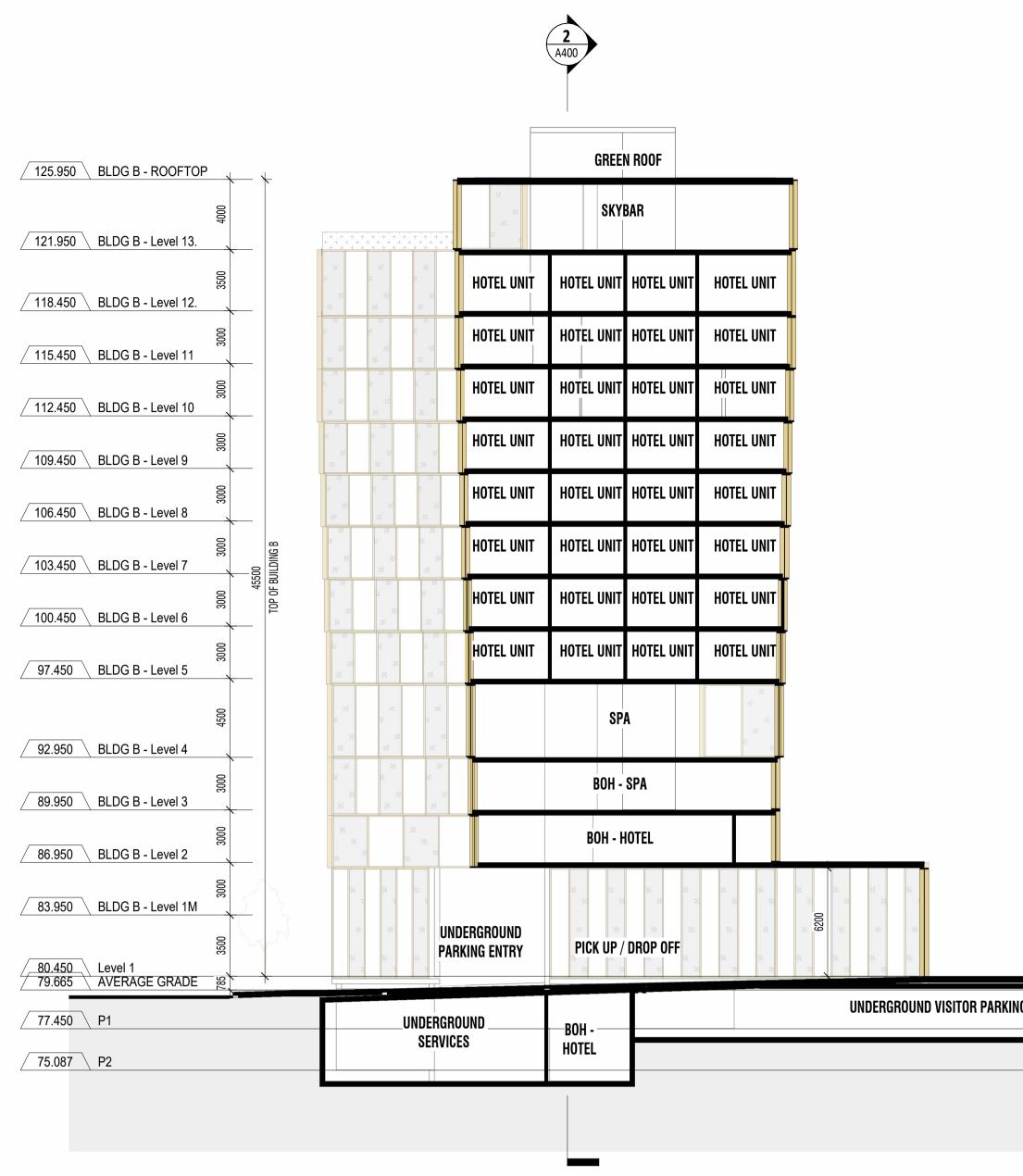
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4933 VICTORIA AVENUE NORTH \_\_\_\_\_

 $\bigoplus \ \bigoplus$ Project North True North

SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

# SECTIONS



1CROSS SECTION - THROUGH BUILDING A + B - COURTYARDA4011:200

5		
A400		
II RES. TERRACE	ES. UNIT	r I
RE	ES. UNIT	
RE	ES. UNIT	Г
		RES RES
	$\left  \right $	RES
		RES
	IIT RES. TERRACE	IIT RES. TERRACE   IIT RES. TERRACE   IIT RES. UNIT   RES. UNIT



2 CROSS SECTION - THROUGH BUILDING C - TOWNS + PARKING A401 1:200

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BLDG C - ROOFTOP 123.450 BLDG C - Level 12 / 119.450 BLDG C - Level 11 / 115.450 BLDG C - Level 10 / 112.150 \ BLDG C - Level 9 / 109.150 \ BLDG C - Level 8 / 105.850 \ BLDG C - Level 7 / 102.550 3UIL BUIL BLDG C - Level 6 99.550 BLDG C - Level 5 / 96.250 **RES. UNIT** BLDG C - Level 4 / 92.950 **RES. UNIT** BLDG C - Level 3 / 89.950 **RES. UNIT** BLDG C - Level 2 / 86.950 **RES. UNIT** BLDG C - Level 1M / 83.950 RES. UNIT Level 1 80.450 AVERAGE GRADE 79.665 P1 / 77.450 P2 75.087

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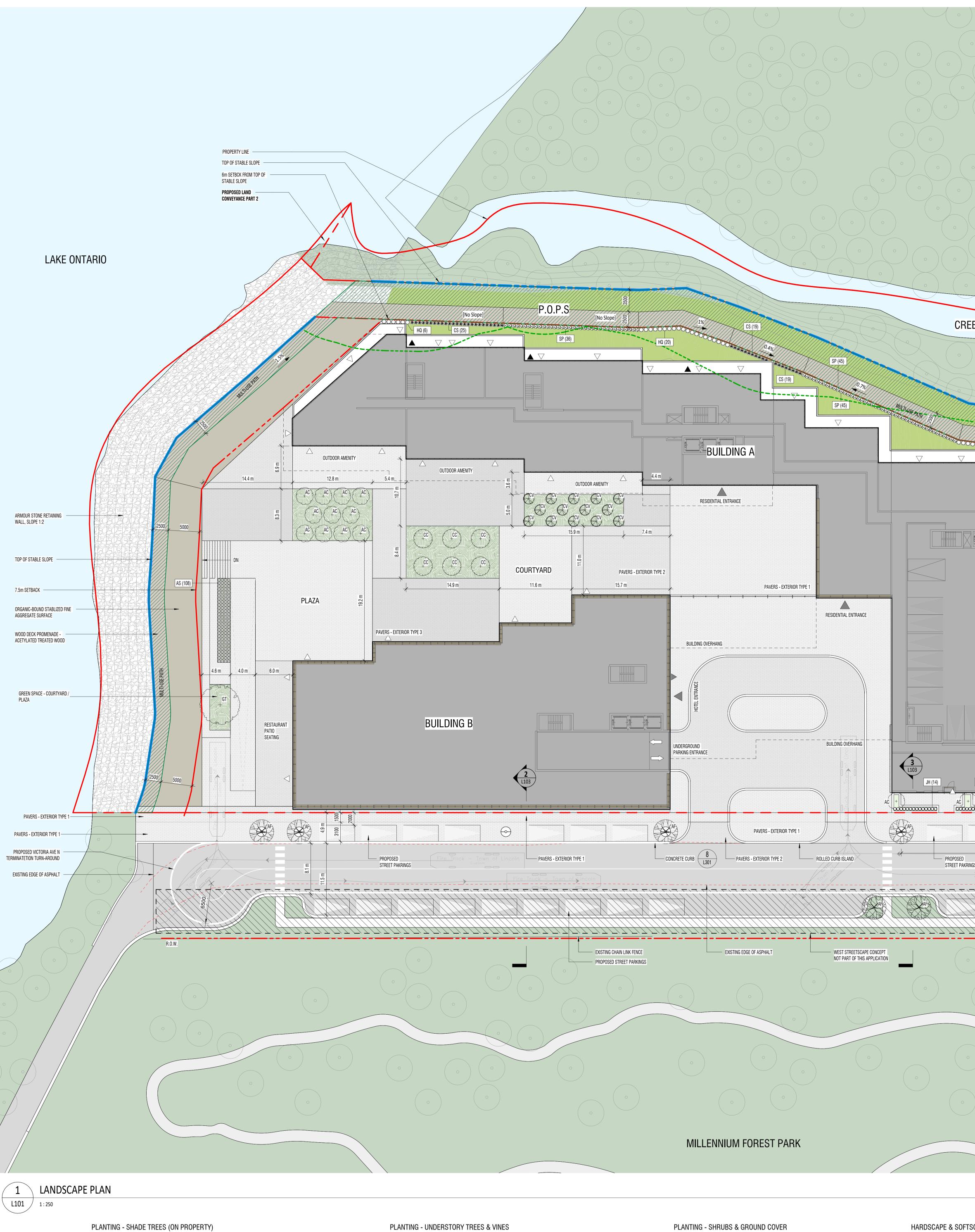
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4933 VICTORIA AVENUE NORTH \_\_\_\_\_

 $\bigoplus \ \bigoplus$ Project North True North

SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

CROSS SECTIONS



TOTAL SHADE TREES

TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	CONDITION	NATIVE	DROUGHT Tolerant	SALT Tolerant	TAG
AF		ACER × FREEMANII	FREEMAN MAPLE	3	80mm CAL.	WB	•	•		UNDERSTO AC
GT	<	GLEDITSIA TRIACANTHOS	HONEY LOCUST	1	80mm CAL.	WB		•	•	CC {
LT	(+) (+)	JUNIPERUS HORIZONTALIS	TULIP POPLAR	5	80mm CAL.	WB				CV
TC		TSUGA CANADENSIS	CANADIAN HEMLOCK	13	80mm CAL.	WB	•	•		TOTAL UND

COMMON NAME QTY BOTANICAL NAME TORY TREE AMELANCHIER CANADENSIS SERVICEBERRY 20 REDBUD CERCIS CANADENSIS CLEMATIS VIRGINIANA CLEMATIS 14 JNDERSTORY TREES 40

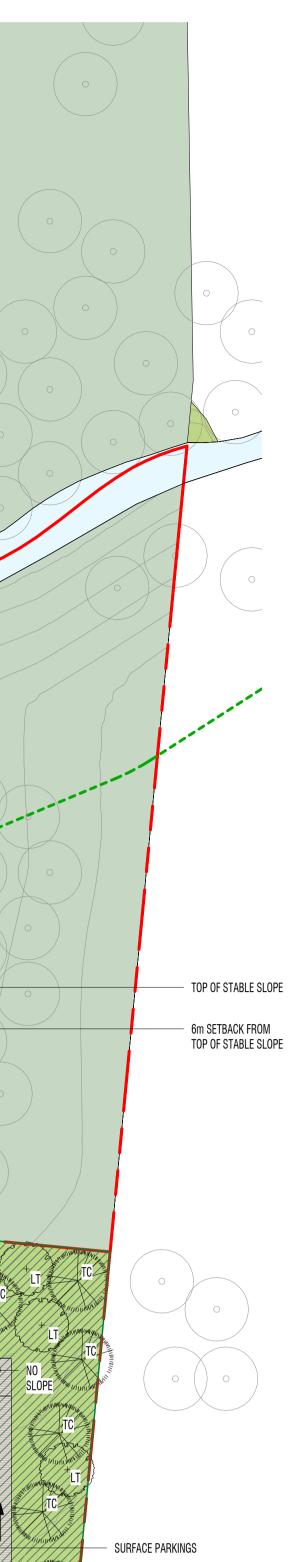
Y TREES & VINES PLANTING - SHRUBS			3 & GROUND COVER HARDSC					HARDSCAPE & SOFTSCA								
TY	SIZE	CONDITION	NATIVE	DROUGHT Tolerant	SALT TOLERANT	TAG	SYM	BOTANICAL NAME	COMMON NAME	QTY	SPACING	SIZE	CONDITION	NOTES	TAG Hardscape	DESCRIPTION
						AS	€	ASARUM CANADENSE	CANADA WILD GINER	108	450 mm	2 GAL.	POTTED		PA1 PA2	PAVERS - EXTERIOR TYPE 1 PAVERS - EXTERIOR TYPE 2
20	200 cm ht. multi-stemm ed	WB	•	•		CS	*	CORNUS SERICEA	RED-TWIG DOGWOOD	85	600 mm	2 GAL.	POTTED		PA3	PAVERS - EXTERIOR TYPE 3
6	200 cm ht. multi-stemm	WB	•	•		HQ	Man of the State	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	74	750 mm	2 GAL.	POTTED		SOFTSCAPE PT1	GREEN SPACE - COURTYARD / PLAZA
	ed					JH	0	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	114	450 mm	2 GAL.	POTTED		PT2	GREEN SPACE
14	200 cm ht. multi-stemm	WB	•			SP	٨	spiea prunifolia	BRIDALWREATH SPIREA	108	600 mm	2 GAL.	POTTED		TOTAL	
14	ed	VVD	•	·		TOTAL PLA	NTS			489					_	

VICTORIA SHORES PARK

					•
EEK			0		WATERCOURSE TOP OF BANK + 15m
	PROPOSED LAND CONVEYANCE PART 1			NO SLOPE	WATERCOURSE TO
		H0 (12)	CS (17) 4.5%		
	7) P.O.P.S No Slope] HQ (17) CS (24) P.O.P.S 1.4% SP (14) SP (14)		SP (13) CS (17) HQ (19)		
	HQ (17) CS (24) SP (14)				
		]		0. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9.	
				0.999 0.999	
				ABOVE GROUND PARKING ENTRANCE	4.1%
	BUILDING C				
				DRIVEWAY	
JH (14		JH (14)	JH (14) AC + AC + AC + AC		
					AF
2 NGS	NORTORIA AVE. NORTH	25.4 m PE 1 RAISED PLANTER BEDS	E CONCRETE	CURB 8 L301	
		VALK APPROX. L EXISTING T	OCATION OF REES	VICEROY AVE	
0				VICER	
		0			
					0

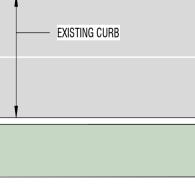
	AL TYPES (ON PROPERTY)		HARDSCAPE & SO			(11.0.10.)		* ALL TREES, SHRUBS AND GROUNDC
AREA	NOTES	TAG Hardscape	DESCRIPTION	AREA		NOTES		** ALL TREES, SHRUBS AND GROUND *** A DRIP IRRIGATION SYSTEM IS TO
2424 m <sup>2</sup>	PERMEABLE BRICK PAVERS WITH SRI $\geq$ 29	AS	ASPHALT	2442 m <sup>2</sup>				AND WILL OPERATE USING A WEATHER
1604 m <sup>2</sup>	PERMEABLE BRICK PAVERS WITH SRI $\geq$ 29	C1	CONCRETE SIDEWALK	455 m <sup>2</sup>				REQUIRED.
567 m <sup>2</sup>	PERMEABLE BRICK PAVERS WITH SRI $\geq$ 29	PA1	PAVERS - EXTERIOR TYPE 1	1035 m <sup>2</sup>	PERMEABLE BI	RICK PAVERS WITH SRI $\geq$ 29		
4595 m²		PA2	PAVERS - EXTERIOR TYPE 2	50 m <sup>2</sup>	PERMEABLE BI	RICK PAVERS WITH SRI $\geq 29$		<b>GENERAL NOTES:</b>
				3983 m <sup>2</sup>				
363 m <sup>2</sup>		SOFTSCAPE						1. A TREE WATERING AND M
133 m <sup>2</sup>		PT2	GREEN SPACE	26 m <sup>2</sup>				PROVIDED FOR A MINIMUM
496 m <sup>2</sup>				26 m <sup>2</sup>				2. LANDSCAPING WILL BE IR
5091 m²		TOTAL		4009 m <sup>2</sup>				PASSIVE AND ACTIVE IRRIGA
								GREYWATER TO BE BE USED
			PLA	ANTING - SHADI	E TREES (R.C	).W.)		3. SOIL IS RETAINED ON-SITE
					, , ,	,	DROUGHT SALT	OF EQUAL OR BETTER QUAL
		TAG SYI	M BOTANICAL NAME	COMMON NAME	QTY SIZE	CONDITION NATIVE	TOLERANT TOLERANT	4. SOIL FOR ALL TREE PLAN
		Ŵ	$\nabla \lambda$					PROFILE (50-60% SAND, 20-
			ACER × FREEMANII	FREEMAN MAPLE	12 80mm C	AL. WB •	•	MATTER BY DRY WEIGHT) W
		AI A			12 00111110		•	5. ALL GROUND LEVEL GRAT
								20mm OR 10mm X 40mm.
		TOTAL: 12			12			

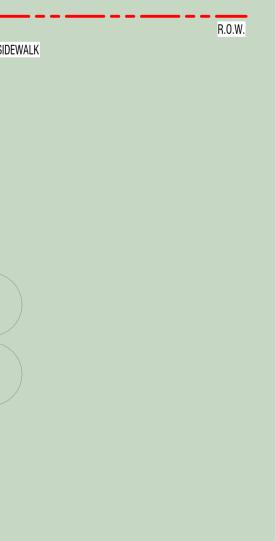
#### APPENDIX A OF REPORT PD-41-24 PAGE 27 OF 28



— PAVERS - EXTERIOR TYPE 2







#### AND GROUNDCOVERS ARE NATIVE SPECIES. AND GROUNDCOVERS ARE DROUGHT RESISTANT SPECIES.

SYSTEM IS TO BE INSTALLED THROUGHOUT THE NEW ROOT ZONES SING A WEATHER SENSOR TO SUPPLY IRRIGATION TO ALL PLANTING AS

#### RING AND MAINTENANCE PROGRAM IS TO BE MINIMUM OF FOUR (4) YEARS AFTER PLANTING. IG WILL BE IRRIGATED USING NON-POTABLE WATER. CTIVE IRRIGATION IS TO BE PROVIDED FOR ALL TREES. BE BE USED. NED ON-SITE OR ADJUSTED OR REPLACED WITH SOIL

ITER QUALITY. L TREE PLANTING TO BE A SANDLY LOAM TEXTURE % SAND, 20-40% SILT, 6-10% CLAY, 2-5% ORGANIC ( WEIGHT) WITH A MAXIMUM PH OF 7.5. LEVEL GRATES WILL HAVE A POROSITY OF 20mm X

## PLANTING NOTES:

- 1. COORDINATE SHIPPING OF PLANTS AND EXCAVATION OF HOLES TO ENSURE MINIMUM TIME LAPSE BETWEEN DIGGING AND PLANTING. CONSULTANT TO SELECT PLANTS AT NURSERY AND REVIEW PLANTS ON DELIVERY TO SITE, PRIOR TO PLANTS BEING SET IN PLACE.
- STAKED PLANTING LOCATIONS TO BE REVIEWED BY CONSULTANT AND CHANGED AS REQUIRED.
- PLANTS TO BE NURSERY-GROWN, GOOD QUALITY SPECIES AND TYPE, FORM AND CHARACTER SPECIFIED. PLANTS TO BE NO 1 GRADE IN ACCORDANCE WITH CANADIAN STANDARDS FOR NURSERY STOCK, MOST RECENT EDITION OF CANADIAN NURSERY LANDSCAPE ASSOCIATION. PLANTS TO HAVE NORMAL, WELL-DEVELOPED BRANCHES, VIGOROUS FIBROUS ROOT SYSTEMS, AND BE HEALTHY, FREE FROM DEFECTS. PLANTS TO BE GROWN UNDER CLIMATIC AND SOIL CONDITIONS SIMLIAR TO THOSE AT THE SITE FOR AT LEAST TWO YEARS PRIOR TO USE ON THIS PROJECT.
- SPECIMEN PLANTS TO BE EXCEPTIONALLY GOOD QUALITY PERTAINING TO THE SPECIES AND OF TYPE, FORM, CHARACTER OR HABIT OF THE PLANTS SPECIFIED. CLUMP PLANTING TO HAVE A MINIMUM OF THREE STEMS DERIVING OUT OF ONE
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- NATURAL BALL OF EARTH SO FIRMLY WRAPPED IN BURLAB AND TIGHTLY BOUND WITH ROPE THAT UPON DELIVERY, THE SOIL IN THE BALL IS STILL FIRM AND COMPACT AROUND THE SMALL FEEDING ROOTS. BALL SIZE TO CONFOMR TO CANADIAN STANDARDS FOR NURSERY STOCK. ROOT BALLS SHALL INCLUDE 75% OF FIBROUS AND FEEDER ROOT SYSTEM. CROWN PRUNING: PRUNE AT PLANTING TO CAREFULLY REMOVE DEAD. BROKEN.
- DAMAGED AND INTERFERING BRANCHES AND NARROW ANGLE BRANCH UNIONS WHEN AND WHERE APPLICABLE. DO NOT CUT LEADER. ROOT BALL: CUT AND REMOVE ALL WIRE, ROPE, BURLAP AND TWINE FROM
- AROUND THE TOP 1/3 TO 1/2 OF THE ROOT BALL. BACKFILL: SOIL TO BE BACKFILLED IN 150 MM LAYERS AND CONCURRENTLY TAMPED AND/OR WATERED TO ELIMINATE AIR POCKETS. COMPACT LIFTS FIRMLY WITH FEET TO STABILIZE ROOTBALL.
- 11. WATERING: ENSURE THAT TREES ARE THOROUGHLY WATERED AT PLANTING. 12. PLANTING AREA: TREE PIT TO BE 3X ROOT BALL DIAMETER. SOIL PREPARATION AREA TO BE 5X ROOT BALL DIAMETER. SCARIFY SOIL PREPARATION AREA TO A
- DEPTH OF 600 MM. 13. PLANTING DEPTH: LOOSEN SURFACE OF PLANTING HOLE. ALL TREES TO BE PLACED SO THAT THE ROOT COLLAR IS POSITIONED 50 TO 75 MM HIGHER THAN SURROUNDING GRADE.
- 14. CONTRACTOR TO WARRANT PLANT MATERIAL AS ITEMIZED ON PLANT LIST FOR FULL GROWTH SEASON (1 YEAR). END OF WARRANTY INSPECTION TO BE CONDUCTED. DURING WARRANTY PERIOD REMOVE MATERIAL THAT HAS DIED OR FAILED TO PERFORM SATISFACTORILY.
- REPLACEMENTS TO BE PLANTED IN THE NEXT PLANTING SEASON. WARRANTY PERIOD ON REPLACEMENT PLANT MATERIAL EQUAL TO ORIGINAL WARRANTY PERIOD. REPLACEMENTS AND WARRANTY CONTINUED UNTIL PLANT MATERIAL IS ACCEPTABLE. REPLACEMENT PLANTS TO BE TAGGED VISIBLY AND CONSULTANT TO BE NOTIFIED IN WRITING DATE REPLACEMENTS WERE MADE. 16. GUYING SYSTEM TO BE USED FOR TREES 80MM CALIPER AND GREATER
- 17. DRAINAGE PIPES TO BE FLEXIBLE HIGH DENSITY POLYETHYLENE (HDPE), BNQ 3624-115-2007, FULLY PERFORATED COMPLETE WITH ONE-PIECE GEOTEXTILE FILTER SOCK, NOT PERFORATED AT PASS THROUGH TO RISER PIPES MANUFACTURER'S STANDARD CONNECTOR FITTINGS AND CAPS.
- 18. IRRIGATION AND AERATION SYSTEM TO BE IRRIGATION PIPE 50MM DIAMETER, SET AROUND SHOULDER OF ROOT BALL AND CONNECTED TO TEE PIECE: ACCEPTABLE PRODUCTS: CITYGREEN 'ROOTRAIN URBAN' SYSTEM INCLUDING ROOTRAIN PIPING, TEES, CONNECTORS AND URBAN INLETS.
- 19. ALL PLANTING MATERIALS, GRANULAR MATERIALS, AND IMPORTED SOILS MUST BE ENVIRONMENTALLY SUITABLE, MEANING FREE OF DEBRIS AND (FORSOIL) AND HAVING AN ENVIRONMENTAL QUALITY THAT MEETS THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS STANDARDS APPLICABLE FOR RESIDENTIAL PROPERTY USE AND COARSE-TEXTURED SOIL THAT ARE LISTED IN TABLE 3 OF THE APRIL 15, 2011 SOIL, GROUND WATER AND SEDIMENT STANDARDS FOR USE UNDER PART XV.10F THE ACT DOCUMENT.

### URBAN FORESTRY TREE PLANTING NOTES:

- 1. THE OWNER/APPLICANT ACKNOWLEDGES AND AGREES THAT ALL TREES MUST BE PLANTED AS PER THE PLANS, WITH THE APPROVED SITE PLAN, LANDSCAPE PLAN, PLANTING DETAILS AND TORONTO STANDARD DETAILS, AND ANY OTHER PLANS WHICH ARE CONNECTED WITH THE TREE PLANTING PROCESS.
- NO DISTURBANCE TO EXISTING GRADE IS PERMITTED AT ANY TIME WITHIN ANY TPZ. PRIOR TO MOVING OR REMOVING ANY TPZ, PERMISSION FROM URBAN FORESTRY IS REQUIRED.

### WATERING PROGRAM:

- 1. THE OWNER WILL OVERSEE AND EXECUTE A WATERING PROGRAM TO SUPPORT THE TREES IN THE FIRST TWO YEARS TO ENSURE THAT TREES ARE ESTABLISHED. THE WATERING PROGRAM WILL CONSIST OF UTILIZING A WATER DISTRIBUTION SYSTEM WITHIN THE SOIL CELLS, MANUALLY FED BY WATER FROM THE BUILDING VIA NEIGHBORING HOSE BIBS, HAND WATERING TO SUPPORT ESTABLISHMENT AND WASH AWAY SALT FROM SURFACE MANAGEMENT OPERATIONS ON THE SURROUNDING HARDSCAPE IS REQUIRED FOR ALL OTHER TREES.
- WATERING SCHEDULE: 1 TO 2 WEEKS AFTER PLANTING THEY WILL BE WATERED DAILY 2 TO 3 WEEKS THEY WILL BE WATERED EVERY 2 TO 3 DAYS AND AFTER 12 WEEKS THEY WILL BE WATERED WEEKLY THROUGH THE SPRING SUMMER AND FALL SEASONS UNTIL ROOTS ARE ESTABLISHED. WATERING WILL BE APPLIED AT 1-1.5 GALLONS PER INCH OF STEM CALIPER PER IRRIGATION USING TECHNIQUES TO CREATE A SLOW INFILTRATION OF WATER AROUND THE TREE ROOT BALL SUPPORTED BY THE PIPING SUPPLIED IN THE SOIL CELLS.

### SITE PLAN LEGEND

- PROPERTY LINE - - - - TOP OF SLOPE 6m SETBACK
  - DESIGNATED P.O.P.S (PRIVATELY OWNED PUBLIC SPACE)

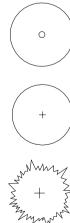
NON-RES ENTRANCE

VEHICULAR ENTRANCE/EXIT

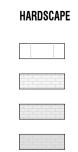
EXISTING CONTEXT TREE

- MAIN RES ENTRANCE RES ENTRANCE
- $\bigtriangleup$  $\square$
- EXIT

### TREE PLANTING TYPE







SOFTSCAPE

ASPHALT

GREEN SPACE

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- required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work. 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultants' documents with respect to the quantity, sizes or scope of work, the
- greater shall apply. 3. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical
- and Electrical items not clearly located will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted. 5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction. 6. These documents are not to be used for

construction unless specifically noted for such

purpose.

1 2024/02/37 ISSUED FOR ZBA Rev. Date Issued

3 2024/09/30 RE-ISSUED FOR ZBA

2 2024/04/26 RE-ISSUED FOR ZBA

# gh3

qh3\* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

#### Globizen PROJECT BENCH

\_\_\_\_\_

### 4933 VICTORIA AVENUE NORTH \_\_\_\_\_

 $\bigoplus \bigoplus$ Project North True North

SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024 \_\_\_\_\_

## LANDSCAPE PLAN

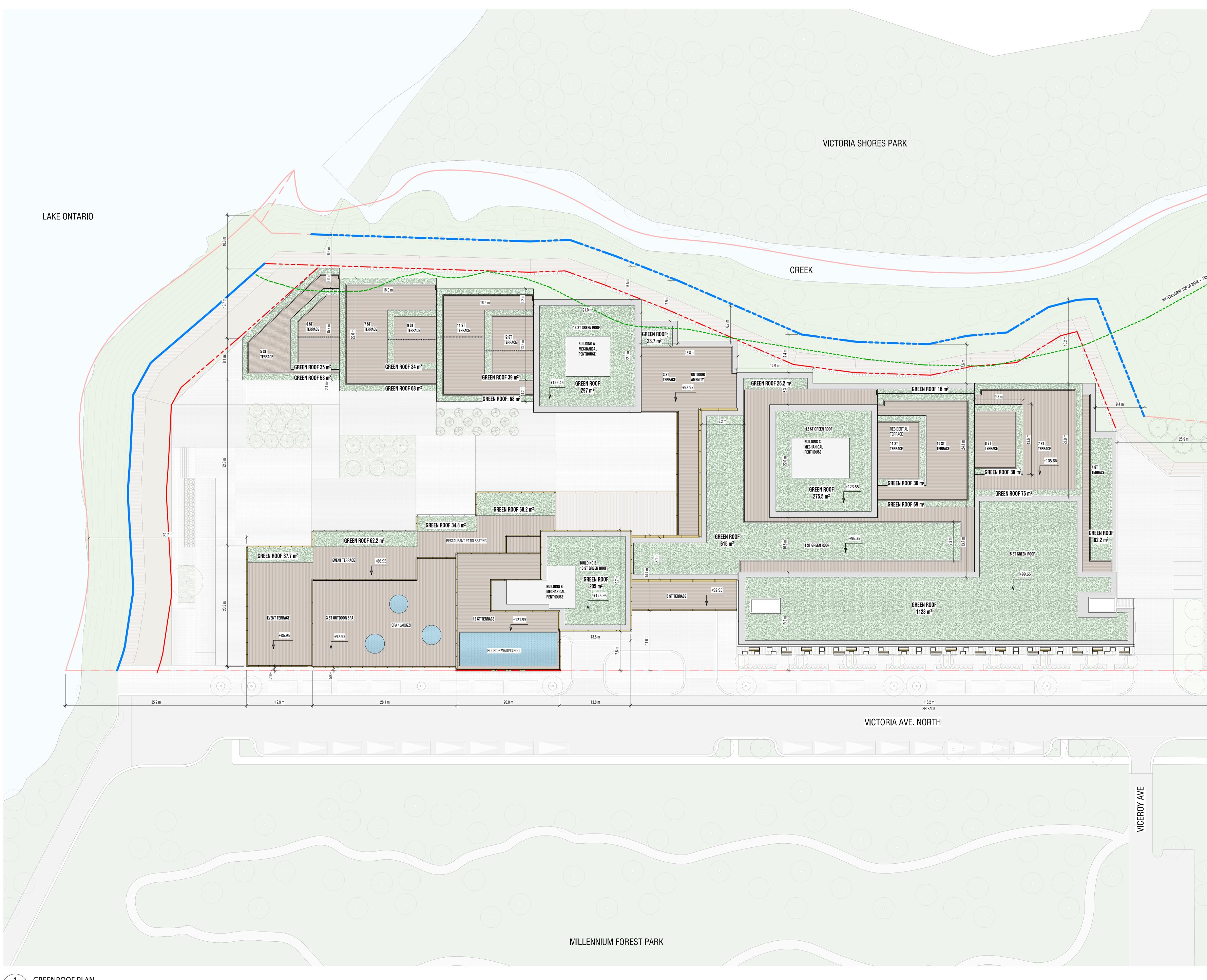
# L101

DECIDUOUS TREE CONIFEROUS TREE UNDERSTORY TREE

CONCRETE SIDEWALK

PAVERS - EXTERIOR TYPE 1 PAVERS - EXTERIOR TYPE 2 PAVERS - EXTERIOR TYPE 3 WOOD DECK PROMINADE

GREEN SPACE - COURTYARD / PLAZA





		GREE
TAG	DESCRIPTION	AREA
BR	BALLAST ROOF	714 m <sup>2</sup>
GR	GREEN ROOF - MEADOW / PERENNIAL GRASSES	3407 m <sup>2</sup>
PD	PATIO DECK	4212 m <sup>2</sup>
TOTAL		8334 m²

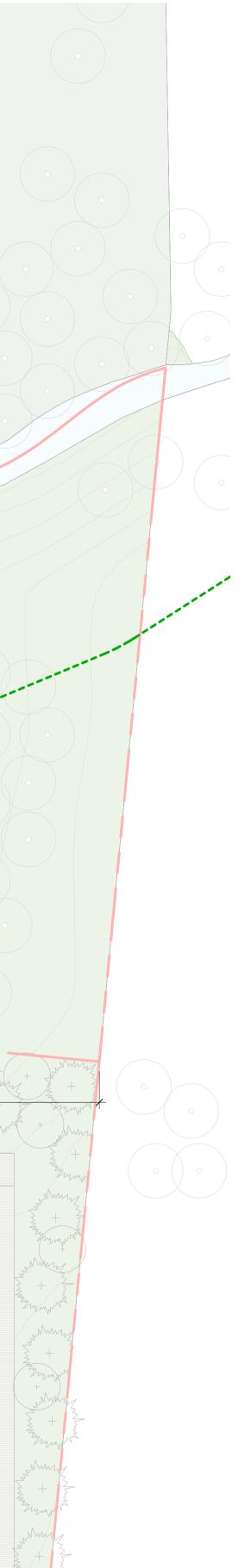
reen f	ROOF	MATERIAL	TYPES

AREA	%	SOIL VOLUME	AVG SOIL DEPTH	PRODUCT	POLLINATOR SPECIES	
714 m <sup>2</sup>	9%	107.14 m <sup>3</sup>	150 mm			
3407 m <sup>2</sup>	41%	511.09 m <sup>3</sup>	150 mm	BIOROOF "ECO-SYSTEM" OR EQ.		I I I
4212 m <sup>2</sup>	51%	210.62 m <sup>3</sup>	50 mm			(
8334 m <sup>2</sup>	100%	828.84 m <sup>3</sup>				(
						ſ

**GREEN ROOF PLANTS (NATIVE POLLINATORS)** ASTER LAEVIS SMOOTH ASTER BELLFLOWER CAMPANULA ROTUNDIFOLIA PRAIRIE SMOKE GEUM TRIFLORUM DESCHAMPSIA CEPITOSA TUFTED HAIR GRASS SLENDER VERVAIN VERBENA SIMPLEX MONARDA FISTULOSA WILD BERGAMOT PANICUM VIRGATUM SWITCH GRASS ECINACEA PALLIDA PALE PURPLE CONEFLOWER SHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM CAREX PENNSYLVANICA SEDGE

VICEROY AVE	
VICEF	
	•

#### APPENDIX A OF REPORT PD-41-24 PAGE 28 OF 28 Copyright is that of the Architect.



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### WATERING PROGRAM:

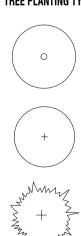
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### SITE PLAN LEGEND

 PROPERTY LINE
 TOP OF SLOPE
 6m SETBACK
DESIGNATED P.O.P.S. (PRIVATELY OWNED PUBLIC SPACE)

- MAIN RES ENTRANCE
- $\bigtriangleup$
- EXIT

## TREE PLANTING TYPE



DECIDUOUS TREE

RES ENTRANCE

NON-RES ENTRANCE

VEHICULAR ENTRANCE/EXIT

UNDERSTORY TREE

## HARDSCAPE

( + )

## SOFTSCAPE

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3 2024/09/30 RE-ISSUED FOR ZBA 2 2024/04/26 RE-ISSUED FOR ZBA 1 2024/02/37 ISSUED FOR ZBA Rev. Date Issued

# gh3

gh3\* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

#### Globizen **PROJECT BENCH**

\_\_\_\_\_

#### 4933 VICTORIA AVENUE NORTH \_\_\_\_\_

Project North True North

SCALE As indicated PROJECT NO. 202302 ISSUE DATE SEPT 27, 2024

## GREENROOF PLAN

# L102

\_\_\_\_\_

EXISTING CONTEXT TREE

CONIFEROUS TREE

BALLAST ROOF

GREEN ROOF - MEADOW / PERENNIAL GRASSES

PATIO DECK